

**SUMMARY REPORT TO CITY MANAGER
for City Council Meeting of 12-21-09**

SUBJECT: Conditional Use Permit No. 37 – A&W Restaurant (drive-in/drive-thru).

PETITIONER: Mann Construction, Inc.

PLANNING COMMISSION PUBLIC HEARING: December 8, 2009.

PLANNING COMMISSION ACTION: Recommendation of approval.

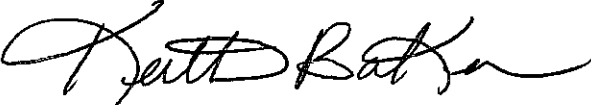
SUMMARY: THIS RESOLUTION WILL SET A PUBLIC HEARING TO CONSIDER A REQUEST OF MANN CONSTRUCTION, INC. FOR AN A&W RESTAURANT (DRIVE-IN/DRIVE-THRU) LOCATED AT 1514 WASHINGTON STREET IN A REGIONAL COMMERCIAL ZONING DISTRICT ON 1.37 ACRES.

ITEMS ATTACHED:

- 1. Letter to City Council.
- 2. Resolution for Council action.
- 3. Staff Report to the Planning Commission dated December 2, 2009.
- 4. Planning Commission minutes of December 8, 2009.
- 5. Map showing location of property.
- 6. Site Plan.

CITY COUNCIL ACTION:

- 1. Public hearing is required. Date: January 11, 2010.
- 2. Advertising date: December 26, 2009.
Public Hearing notification to area residents mail date: December 23, 2009.
- 3. 3/5 vote required to approve resolution.



Keith Baker, AICP
Director of Planning & Community Development

KB/djm

12-16-09



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December 16, 2009

Honorable Mayor and City Council
City Hall - 333 West Ellsworth Street
Midland, Michigan

Dear Councilmen:

At its meeting on Tuesday, December 8, 2009 the Planning Commission considered Conditional Land Use Permit No. 37, the request of Mann Construction, Inc. for an A&W Restaurant (drive-in/drive-thru) located at 1514 Washington Street in a Regional Commercial zoning district on 1.37 acres of property.

Drive-thru restaurants are a conditional use in the Regional Commercial Zoning District. The proposed development would be adjacent to existing retail, commercial and restaurant developments.

Conditional Land Use petitions are subject to both non-discretionary and discretionary standards. Discretionary standards are found in Section 28.03B of the city's zoning ordinance and are to be determined by the City Council during deliberation on the petition. They include: protection of public health, safety and general welfare, compatibility with surrounding land uses, detrimental effects, impact of traffic, adequacy of public services, protection of site characteristics, compatibility with natural environment, compatibility with the Master Plan and intent of Zoning Ordinance and public comments.

After deliberation on the petition, the Planning Commission took the following action:

It was moved and seconded that the Planning Commission recommends to City Council approval of Conditional Use Permit No. 37 with the following contingencies:

1. The storm water detention system is designed and constructed in accordance with the City of Midland Engineering Department specifications.
2. All landscaping shall comply with Article 6 of the Zoning Ordinance.
3. All exterior lighting shall comply with Section 3.12 of the Zoning Ordinance.
4. All exterior signage shall comply with Article 8 of the Zoning Ordinance.
5. All parking spaces shall comply with Section 5.01D of the Zoning Ordinance and be delineated by the "box" style striping.
6. The location, access and flow of the water service shall be in accordance with the City of Midland Fire Department and City of Midland Utility Department specifications.
7. Any proposed irrigation system will comply with the City of Midland Water Department specifications.
8. That all exterior (roof or ground mounted) mechanical equipment shall be screened as required by Section 6.02(E) (2) of the Zoning Ordinance.
9. That a bike rack be installed as part of the project.

Vote on the motion:

YEAS: Brown, Hanna, King, Mead, Pnacek, Senesac and Stewart
NAYS: None
ABSENT: Eyre
VACANCY: One

Recommended by a unanimous vote of 7-0.

There were no public comments either in support of or in opposition to the petition. Given the completeness of the application, the cooperativeness of the applicants to make requested changes and detail of the proposed site plan, the Planning Commission voted unanimously to expedite the petition and voted to make a recommendation to the City Council at the same meeting at which the public hearing was held as opposed to two separate meetings to consider the request.

The City Council is therefore being requested to set a public hearing to consider Conditional Land Use Permit No. 37 for the January 11, 2010 regular meeting at 7:00 p.m.

Respectfully,

A handwritten signature in black ink, appearing to read "Keith Baker". The signature is fluid and cursive, with the first name "Keith" and last name "Baker" clearly distinguishable.

Keith Baker, AICP
Director of Planning & Community Development

KB/djm

LETTER OF TRANSMITTAL – Conditional Use Permit #37 set PH



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BY COUNCILMAN

WHEREAS, Mann Construction, Inc. submitted a request for an A&W Restaurant (drive-in/drive-thru) located at 1514 Washington Street located in a Regional Commercial zoning district on 1.37 acres; and

WHEREAS, the City Planning Commission has conducted a public hearing in accord with Section 28.02(A) of the Zoning Ordinance of the City of Midland on said conditional use; and

WHEREAS, the Planning Commission has submitted its recommendation of approval, in accord with Section 28.02(B) of the Zoning Ordinance of the City of Midland; now therefore

RESOLVED, that notice is hereby given that a public hearing will be held by the City Council on January 11, 2010, at 7:00 p.m. in the Council Chambers, City Hall, for the purpose of considering the request for a conditional use permit; and

RESOLVED FURTHER, that the City Clerk is hereby directed to notify property owners and occupants within three hundred (300) feet of the area proposed by transmitting notice on December 23, 2009 and to publish said notice on December 26, 2009.

YEAS:

NAYS:

ABSENT:

I, Selina Tisdale, City Clerk, City of Midland, Counties of Bay and Midland, State of Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by a yeavote of all the Councilmen present at a regular meeting of the City Council held Monday, December 21, 2009.

Selina Tisdale, City Clerk



Report No. CUP #37

Date: December 2, 2009

STAFF REPORT TO THE PLANNING COMMISSION

SUBJECT: Conditional Use Permit #37

APPLICANT: Mann Construction Inc.

PROPOSED: A&W Restaurant (drive-in/drive-thru)

LOCATION: 1514 Washington Street

AREA: 1.37 acres

ZONING: RC Regional Commercial

ADJACENT ZONING: North – RC Regional Commercial
East – RC Regional Commercial
South – RC Regional Commercial
West – RB Residential & RC Regional Commercial

ADJACENT DEVELOPMENT: North– Auto parts retailer
East – Fast food restaurant (with drive-thru)
South – Retail & commercial
West – Retail/Office/Fire Station

REPORT

Conditional Use Permit No. 37, the request of Mann Construction, Inc. for an A&W Restaurant with a drive-thru window and drive-up service located at 1514 Washington Street. The property is currently vacant and located directly northwest of the Kmart store in the Midland Town Center shopping center.

The proposed fast food restaurant use with a drive-up/drive-thru is a "Conditional Land Use" in the RC Regional Commercial zoning district. A site plan has been prepared in conjunction with the Conditional Land Use petition application.

Multiple department staff has conducted a review of the proposed site plan and presented comments and requested changes to the applicant.

CONDITIONAL USE PERMIT EVALUATION

In accord with Article 28.00 of the City of Midland Zoning Ordinance the Planning Commission shall review the application for conditional land use in accordance with the procedures in this Article, together with the public hearing findings and reports and recommendations from the Planning and Community Development staff, City Engineering Department, Midland County Road Commission, Midland County Health Department, Midland County Drain Commissioner, Fire Department, City of Midland City Police Department and other reviewing agencies. The Planning Commission shall then make a recommendation to the City Council, solely based on the requirements and standards of this Ordinance. The Planning Commission shall submit to the City Council a written recommendation of approval, denial, or approval with conditions within forty-five (45) days of the close of the public hearing required for a conditional land use proposal.

Approval of a conditional land use proposal shall be based on the determination that the proposed use will be consistent with the intent and purposes of this Ordinance, will comply with all applicable requirements of this Ordinance, including site plan review criteria set forth in Article 27.00, applicable site development standards for specific uses set forth in Article 9.00, and the following standards:

A. Non-Discretionary Standards

1. The conditional land use shall be in accord with the provisions of the Zoning Ordinance of the City of Midland.

The specific criterion for each of the ordinance sections is outlined below.

2. Compliance with all of the standards in Section 27.06(A).

a. Adequacy of Information

Adequate information has been submitted for conditional use permit review.

b. Site Design Characteristics

Staff believes that by definition, these provisions have been met. The proposed project does not impede the potential development or improvement of surrounding property for uses permitted by this Ordinance.

c. Landscaping

Required landscaping was calculated based upon three criteria; (1) street frontage (Washington Street); (2) parking lot area; and (3) general site area. A total of fifteen (15) trees and seventy five (75) shrubs are required. The petitioner has shown 17 trees and 97 shrubs. Therefore, the proposed landscaping meets the city's ordinance requirements.

d. Compliance with District Regulations

The project meets all setbacks, lot area, height and other dimensional requirements for the RC Regional Commercial zoning district. The closest point of the building to the side property line is 36.3 ft. The highest point of the building is approximately 17.2 ft. tall

e. Preservation of Natural Features

There are no natural features on the site (other than a lawn). The site is currently a vacant commercial lot.

f. Privacy

The parcel is accessible from all sides with no physical visual barriers. The building and site development are planned in such a way as to not interfere with adjoining properties.

g. Ingress and Egress

One drive approached is planned to access the site from Washington Street at the approximate center of the parcel. The throat width of the approach is 29 ft. The drive provides one lane for both entry and exit. In addition, there are two means of access to the parcel on the east side of the site. The southeast access is two way and intersects the existing ingress/egress easement providing access to the Kmart parking lot. The northeast access is "one way" in and allows vehicle access from the AutoZone and Wendy's parking lots.

h. Pedestrian Circulation

New 5 ft. wide public sidewalks are proposed along the frontage of Washington Street. Additional private sidewalks are shown connecting the building to the public sidewalk and along the building's parking lot frontage.

i. Vehicular Circulation

Vehicles will circulate within the development around the building to exit on to Washington Street or east out through a private drive shared with adjoining commercial parcels that are subject to a recorded ingress/egress cross access easement connecting this parcel with the AutoZone, Wendy's and Kmart parcels.

j. Parking

Based upon the square footage of the building, Table 5.3 of the City Zoning Ordinance requires a minimum of 37 parking stalls. In addition, Section 5.0(C) (7) provides for up to a maximum of 20% above the minimum parking stalls permitted. This would set the maximum site parking at 44 stalls. The plan identifies 37 available parking stalls, two (2)

of which are barrier free. There are also five (5) spaces for stacking in the drive-thru as required by the ordinance.

k. Drainage

Catch basins are proposed to collect stormwater and storage is planned in a triangular detention area designed on the southwest side of the property. All stormwater management systems must meet City of Midland Engineering design specifications and permitting requirements.

l. Soil Erosion & Sedimentation Control

A soil erosion and sedimentation control plan has been submitted and will be reviewed by the City of Midland Building Department for compliance and approval prior to permitting. Details of the soil erosion and sedimentation control plan are included in the submitted plans on page C5.

m. Exterior Lighting

A photometric plan has been provided for city review and is shown on page C8 of the plans submitted. Four (4) twenty (20') foot tall light poles are shown as illumination of the parking area. One wall mounted fixture is planned for the structure. All new site lighting must meet the requirements of Section 3.12 of the zoning code.

n. Public Services

Adequate public services (including utilities) exist to serve the site.

o. Screening

As all adjoining parcels are zoned RC Regional Commercial, no site screening is required. The dumpster location is shown screened with a 6 ft. high wooden enclosure with concrete pad and bollards as required. The dumpster enclosure is detailed on Sheet C9.

p. Sequence of development

The project will be constructed in a single construction phase.

q. Coordination with adjacent sites

The project site adjoins and is traversed by existing private internal driveways protected by a recorded ingress/egress access easement. The rear (eastern most) drive on the property must remain accessible for use by adjoining parcels.

r. Signs

Building signage and one freestanding monument or pole sign is permitted. One pylon sign has been proposed to be located south of the entrance to the site on Washington Street.

3. Access to the proposed development shall be in accordance with applicable city ordinances.

Property is accessed by a public road. The location of the driveway along a public right-of-way is governed by the city's zoning ordinance for commercial drive approaches. The proposed driveway meets the required setback for distance from the west Kmart plaza driveway to the south and the Auto Zone driveway to the north.

4. Adequate provision is made for fire protection within the site in accordance with Chapter 8 of the Code of Ordinances of the City of Midland.

The Fire Department has reviewed the proposed site plan for adequate emergency vehicle access. The requirements include adequate turning radius, access to all sides of the building and adequate building fire protection measures.

B. Discretionary Standards (To be determined by the Planning Commission during deliberation on the request)

1. **Protection of the Public Health, Safety, and General Welfare**

The establishment or maintenance of the conditional use shall not be detrimental to the public health, safety, or general welfare.

Staff has not identified any health or safety issues related to the proposed project.

2. **Compatibility With Surrounding Uses**

The conditional use shall be located, designed, maintained and operated to be compatible with the existing or intended character of that zoning district and adjacent districts. In determining whether this requirement has been met, consideration shall be given by the Planning Commission to the following issues:

- a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
- b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
- c. The hours of operation of the proposed use. Approval of a conditional land use may be conditioned upon operation within

specified hours considered appropriate to ensure minimal impact on surrounding uses.

- d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses. Any proposed building shall be compatible with the predominant type of building in the particular district in terms of size, character, location or proposed use.
- e. Proposed landscaping and other site amenities. Additional landscaping over and above the requirements of this Ordinance may be required as a condition of approval of a conditional land use.
- f. Hours of operation shall be compatible with the surrounding neighborhood.

3. **Detrimental Effects**

The proposed conditional land use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed so as to be detrimental or hazardous to persons or property or to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the level of traffic, noise, vibration, smoke, fumes, odors, dust, glare, and light.

4. **Impact of Traffic**

The location of the proposed conditional land use within the zoning district shall minimize the impact of the traffic generated by the proposed use. In determining whether this requirement has been met, the Planning Commission shall give consideration to the following:

- a. Proximity and access to major thoroughfares and other public streets.
- b. Estimated traffic generated by the proposed use.
- c. Proximity and relation to intersections.
- d. Adequacy of driver sight distances.
- e. Location of and access to off-street parking.
- f. Required vehicular turning movements.
- g. Provisions for pedestrian traffic.

5. **Adequacy of Public Services**

The proposed conditional land use shall be located so as to be adequately served by essential public facilities and services, such as highways, streets, police and fire protection, drainage systems, water and sewage facilities, and schools, unless the proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional land use is established.

6. **Protection of Site Characteristics**
The conditional use shall preserve and incorporate the site's important architectural, natural and scenic features into the development design.
7. **Compatibility with Natural Environment**
The proposed conditional land use shall be compatible with the natural environment and conserve natural resources and energy, and cause minimal adverse environmental effects.
8. **Compatibility with the Master Plan and Intent of Zoning Ordinance**
The proposed conditional land use shall be consistent with the general principles and objectives of the City's Master Plan and shall promote the intent and purpose of this Ordinance and of the use district.
9. **Public Comments**
The City has received no correspondence either in support of or in opposition to the petitioner's request.

STAFF RECOMMENDATION

Upon careful review of the requested conditional land use permit staff recommends approval of the request with the following contingencies:

1. The Storm water detention system is designed and constructed in accordance with the City of Midland Engineering Department specifications.
2. All landscaping shall comply with Article 6 of the Zoning Ordinance.
3. All exterior lighting shall comply with Section 3.12 of the Zoning Ordinance.
4. All exterior signage shall comply with Article 8 of the Zoning Ordinance.
5. All parking spaces shall comply with Section 5.01D of the Zoning Ordinance and be delineated by the "box" style striping.
6. The location, access and flow of the water service shall be in accordance with the City of Midland Fire Department and City of Midland Utility Department specifications.
7. Any proposed irrigation system will comply with the City of Midland Water Department specifications.
8. That all exterior (roof or ground mounted) mechanical equipment shall be screened as required by Section 6.02 (E) (2) of the Zoning Ordinance.

PLANNING COMMISSION ACTION

Staff currently anticipates that the Planning Commission will take action on this request, formulating a recommendation to the City Council, during its regular meeting of January 12, 2010. We further anticipate that on January 25, 2010 the City Council will set a public hearing on this matter. Given statutory notification and publication requirements, the City Council hearing will likely be scheduled for February 15, 2010. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,

Keith Baker, AICP
Director of Planning & Community Development
City of Midland

/kb

**MINUTES OF THE MEETING OF THE MIDLAND CITY PLANNING
COMMISSION
WHICH TOOK PLACE ON TUESDAY,
DECEMBER 8, 2009, 7:00 P.M.,
COUNCIL CHAMBERS, CITY HALL, MIDLAND, MICHIGAN**

1. Roll Call

PRESENT: Brown, Hanna, King, Mead, Pnacek, Senesac and Stewart

ABSENT: Eyre

VACANCY: One

OTHERS PRESENT: Keith Baker, Planning Director, Cindy Winland, Contract Planner, Cheri King, Community Development Specialist and 16 others.

2. Approval of Minutes

Moved by Senesac, seconded by Hanna, to approve the minutes of the regular meeting of November 24, 2009 as written. Motion passed unanimously.

3. Public Hearing

- a. Conditional Use Permit No. 37**, the request of Mann Construction, Inc. for an A&W Restaurant with a drive-up window located at 1514 Washington Street.

Mr. Baker presented the background for Conditional Use Permit #37. The property is 1.37 acres in size. Mann Construction Inc. is the petitioner. The request is to build a drive-in/drive-thru restaurant. Drive-thru restaurants are a conditional use in the Regional Commercial Zoning District. It would be adjacent to existing retail, commercial and restaurant developments.

The property is located on the east side of Washington Street, just south of Haley Street. South Saginaw Road is located to the east of the K-Mart Shopping Plaza. Properties in this area are zoned Regional Commercial to the north, east and south. The city's Fire Station #1 is to the immediate west.

Discretionary standards are found in Section 28.03B of the city's zoning ordinance and are to be determined by the Planning Commission during deliberation on the petition. They include: protection of public health, safety and general welfare, compatibility with surrounding land uses, detrimental effects, impact of traffic, adequacy of public services, protection of site characteristics, compatibility with natural environment, compatibility with the Master Plan and intent of Zoning Ordinance and public comments.

The proposed parking is to the south and the north of the proposed structure. The property is very irregular in shape. There would be a single means of ingress and egress on Washington and another means of ingress/egress with a shared driveway

easement that allows access by K-Mart, Wendy's, Auto Zone and the proposed development. Staff has reviewed the proposed site plan. The applicant has made all of the requested changes that the various departments identified upon site plan review. Staff believes adequate information has been provided for the Planning Commission review this evening. A total of 15 trees and 75 shrubs are required so they exceed the requirements for landscaping. The highest point of the building will be 17.2 feet. There are no natural features on this property. It is a vacant lot. There is one drive approach on Washington. The initial site plan had two and the applicants relocated it to one at the request of city staff. There are two other means of access to the property from the east, within the joint use easement area.

This is a commercial development. There is a 5-foot sidewalk required. Vehicular circulation within the site will circulate through a drive-thru which has adequate stacking spaces and it deposits vehicular traffic onto Washington or back out the rear access to the east. They have parking for both the building itself and the drive-up ordering stations for a total of 37 parking stalls, two of which will be ADA compliant.

There is a storm water detention pond and storm water catch basins throughout the site. Soil erosion and sedimentation control has been met by the submission of a plan to the building department. A photometric plan has been provided with this site plan. It includes four 20-foot high light poles and one wall mounted fixture. These must meet illumination maximums which have been reviewed by the city's electrical inspector. The project will be built in one construction phase.

This property adjoins existing commercial properties that provide easements so they have the same availability for the movement of their traffic. Regarding signs, they proposed one pylon sign and signage on the building. One pylon sign is the maximum that is allowed. The Fire Department has reviewed the site plan for adequate vehicle access, which includes adequate turning radius for the maneuvering of emergency vehicles. These seem to have been met.

Staff recommendation is for approval if the Planning Commission believes this site is suitable for a drive-thru restaurant and that it meets the Conditional Land Use permit criteria. The petitioner has expressed interest in an expedited review. If approved, City Council could hold a public hearing on January 11, 2010.

Mrs. Hanna asked about the detention pond. It is shown with a potential depth of four feet. Is there a fence proposed for this site? Mr. Baker stated it is not required by the ordinance. Between the slope and the depth of the pond, Engineering does not require a fence. Mr. Baker showed an elevation drawing with a rendering of the proposed building. There will be some interior seating. Mrs. Hanna asked if they would provide bike racks. Mr. Baker suggested that question be posed to the petitioners.

Lee Coughlin, Mann Construction, 260 E. Oak, Harrison, Michigan, represented the owner of this parcel. The owner does own another A&W in Standish so they are familiar with the trademark. They are very excited about coming to the City of Midland. The hours of operation will be similar to the surrounding businesses – probably 7:00

a.m. to 9:00 or 10:00 p.m. If the owners feel their customers would use bike racks, Mr. Coughlin is sure the owners would provide them.

No one else spoke either in favor of or in opposition to this zoning petition. The public hearing was closed. No public comments were received by the Planning Department either in favor of or in opposition to this Conditional Land Use permit.

Motion by Senesac, seconded by Mead that the Planning Commission deal with this plan this evening. The petitioners have been responsive to the wishes of city staff and there is no opposition to this petition. The Planning Commission has only one meeting this month so this could place undue hardship on the petitioners. The voice vote was unanimous (7-0) to deal with this petition tonight.

4. **Public Comments (unrelated to items on the agenda)**

None

5. **Old Business**

a. **Zoning Petition No. 563**, initiated by Earl D. Bennett Construction, Inc. for property located at 204 Commerce Drive from Larkin Township zoning to Residential B. (A conditional zoning request.)

Mrs. Winland showed an aerial photograph of the subject property. The property is located on Commerce drive, west of Jefferson Avenue. The existing land use is primarily vacant agricultural land. It is shown on the Master Plan as vacant as it is not in the city. There is no city zoning on this property at the present time. The nearest city zoning is Regional Commercial and LCMR to the west. In a rezoning request with conditions, the petitioner has the ability to offer a limit on the permitted uses in the area. The petitioner has offered to limit the number of dwelling units to nine units per acre with no more than two stories. Any conditions approved with the rezoning are recorded and run with the land. This is a 37-acre site. Staff has reviewed the 10 criteria and their recommendation has been that, with the density and height limitations, this is consistent with the Master Plan for medium density residential. The Planning Department has received one additional letter in opposition to this zoning request since the last meeting.

Sheila Messler, Bennett Construction, stated that, at the last meeting, she brought up a study that was done for her employer regarding this area of town. This study looked out at the supporting neighborhoods surrounding the mall area. It was paid for privately, to be used as a tool for future planning in this area. During early discussions with Mr. Poprave and Mr. Baker, they talked about this area being more suitable for being developed with a higher density of development. If this area were zoned RA-4 and developed as Joseph's Run, as a PUD, it would allow up to 10 units per acre. With the discussion of the Letts Road extension, Ms. Messler submitted a letter to the Planning Department, dated March 20, 2007, the only concerns that they had with how the Master Plan was going was the three zoning classifications on the south end of Commerce Drive, specifically, the area of commercial that is on the north side of the road. Commerce Drive contains a lot of commercial property. The petitioner is looking

for medium density residential. They are looking to follow the future land use map. They are trying to follow the uses proposed in the Master Plan.

Mike Pnacek, 2661 Blackhurst, Larkin Township, stated his family does own the property to the south. It is split by Commerce drive. The Master Land Use Plan called for their property to be divided between commercial and residential. They currently have no plans for the property. They are not planning to do anything with it right now.

Doug Stevens, 2102 N. Jefferson Road, stated he is concerned about the number of potential people on the site. At nine units per acre multiplied by 37.5 acres equal 337.5 units. 337.5 units multiplied by three people per unit equals 1,012.5 people. Two weeks ago, the petitioner stated there was no way they could get 1,000 people on that site. Then why didn't they limit themselves to a smaller number of units per acre? Their letter last time also stated 5-plexes and 6-plexes. You could very easily get to that 1,000 person density with 6-plexes. This property was able to be annexed to the city by virtue of the road being there. Usually properties annex by way of being adjacent to other properties in the city. All the land surrounding this property is agricultural and low-density residential. Based upon today's economy, he does not see that changing for some time. The density will have an impact on the surrounding area in Larkin Township. The city's Master Plan was just adopted last year. This area is shown as medium density. RB is not medium density. He thinks regular zoning should be applied rather than conditional zoning. One of the 10 items the Planning Commission looks at is the "intent", which is in Article 30 of the Zoning Ordinance. The subjective criteria in the Zoning Ordinance are not met in his opinion, for the development of this property. Are Commerce Drive and Jefferson Avenue going to be able to handle the increased traffic this will create? There are many times during the year that traffic turning left off Jefferson onto Joe Mann Drive is backed up almost to the overpass.

John Bartos, 2095 N. Jefferson, stated he lives on the north line of the subject property. The Northside Mixed-Use Neighborhood study was done in 2007. The study encouraged people to walk rather than drive, like is done in some European countries. The concept of this study is to go from the south to the north, not from the top down. This zoning request, he calculated, would bring over 800 people to this area. Please examine Section 1.02B of the zoning code where it discusses the population density. Please deny this request and start over.

Ms. Messler spoke about the density amount. If she were to do the math the same way they did, she would come up with the same numbers. However, they did not include roads, sidewalks, and open spaces that are required in subdivisions. This development would be done in stages. Until one phase is done and sold, the second phase would not be started. The study that was done included the entire area including the church and multi-family housing that might be developed in this area.

Mrs. Winland stated the approved development must be commenced no later than 18 months after it is approved and must continue diligently. That is part of the zoning ordinance that pertains to the conditions discussed with this petition.

Ms. Messler stated they have someone who has a purchase agreement on the front half, toward Jefferson. She does not see the 18 month development requirement as a problem. If they do not develop the back of the property within 18 months, they will just have to come back to the Planning Commission at a future date.

Mrs. Hanna stated she took a second look at this property today. There was a lot of traffic on Jefferson. She had quite a time turning left onto Commerce Drive and then getting back onto Jefferson. There are a lot of very nice two and 2-1/2 story homes developed on very large lots in this area. If she owned those properties, she would be very concerned about her property value with this proposed development across the road.

Mr. Pnacek stated this is more than single family residential. But he thinks toward the east by Jefferson, it is doing an injustice to the property owners to the north and the south. For the parcel closer to Jefferson Avenue, this is not the right zoning for this area.

Mr. Senesac stated whenever the city moves into new areas, it is disruptive to some people in those areas because it is not consistent with what has been there and what they would like it to be. The Planning Commission spent a lot of time on the Master Plan. As Ms. Winland pointed out, this is consistent with the Master Plan and it meets all the criteria. He is in favor of it.

Mr. Mead stated that zoning is painful, and they are moving toward that right now. What they looked at and thought was the right zoning for this area several years ago still holds today. They looked at the whole city, including this part of the city. He thinks this is the right zoning and it is in the right place and he is also in favor of it.

Mr. King stated he was not around when the Future Land Use map was adopted. We are currently looking at the redevelopment of downtown in a very similar way. However, he will not be able to support this.

Mr. Stewart stated he also came on board after the Master Plan was adopted. Even though he understands all the arguments opposing this proposal, it is going to be a phased development and he does not see any reason why they should deviate from the Master Plan.

Mrs. Hanna asked if RA-4 is medium density. Ms. Brown stated she was here when the Master Plan was developed. Because of the direction this is going and the direction that is planned for the future, she is in support of this proposal.

Motion by Senesac, seconded by Mead, to approve Zoning Petition No. 563 initiated by Earl D. Bennett Construction, Inc. for property located at 204 Commerce Drive from Larkin Township zoning to Residential B (with conditions).

Vote:

YEAS: Brown, Mead, Senesac and Stewart

NAYS: Hanna, King and Pnacek

ABSENT: Eyre

VACANCY: One

Motion passes 4-3.

b. Northside Downtown Overlay District zoning district language scheduling of public hearing date.

The Planning Commission received a letter from Mr. Baker regarding the proposal for the Northside Downtown Overlay District.

Motion by Mead, seconded by Senesac, to schedule a public hearing date for the Northside Downtown Overlay District on January 12, 2010. The motion was approved by unanimous voice vote.

Motion passes 7-0.

6. New Business

Conditional Use Permit No. 37, the request of Mann Construction, Inc. for an A&W Restaurant with a drive-up window located at 1514 Washington Street.

There was no additional input since the public hearing.

Mr. Pnacek stated he is in support of this petition. City staff has reviewed the petition and there does not seem to be any opposition. He is in favor of it. Mrs. Hanna asked if the addition of bike racks could be added as a contingency.

Mr. Stewart stated he is in support of the plan.

Motion by Hanna, seconded by Senesac, to recommend approval to City Council, Conditional Use Permit No. 37, with the eight recommended contingencies plus the addition of a contingency to add bike racks to the plan.

Vote:

YEAS: Stewart, King, Hanna, Brown, Mead, Senesac and Pnacek

NAYS: None

ABSENT: Eyre

VACANCY: One

Motion passes 7-0.

7. Communications

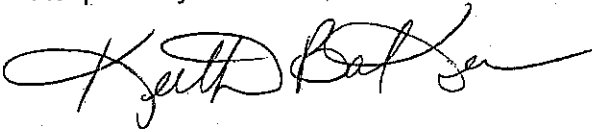
Minutes of the Non-motorized Transportation Committee were presented. This group has become a sub-committee of the Planning Commission so their minutes will be presented to the Commissioners periodically.

8. Report of the Chairperson

None

9. Report of the Planning Director
None
10. Commissioner Comments
None
11. Adjourn
Adjournment at 8:41 p.m. was unanimously approved.

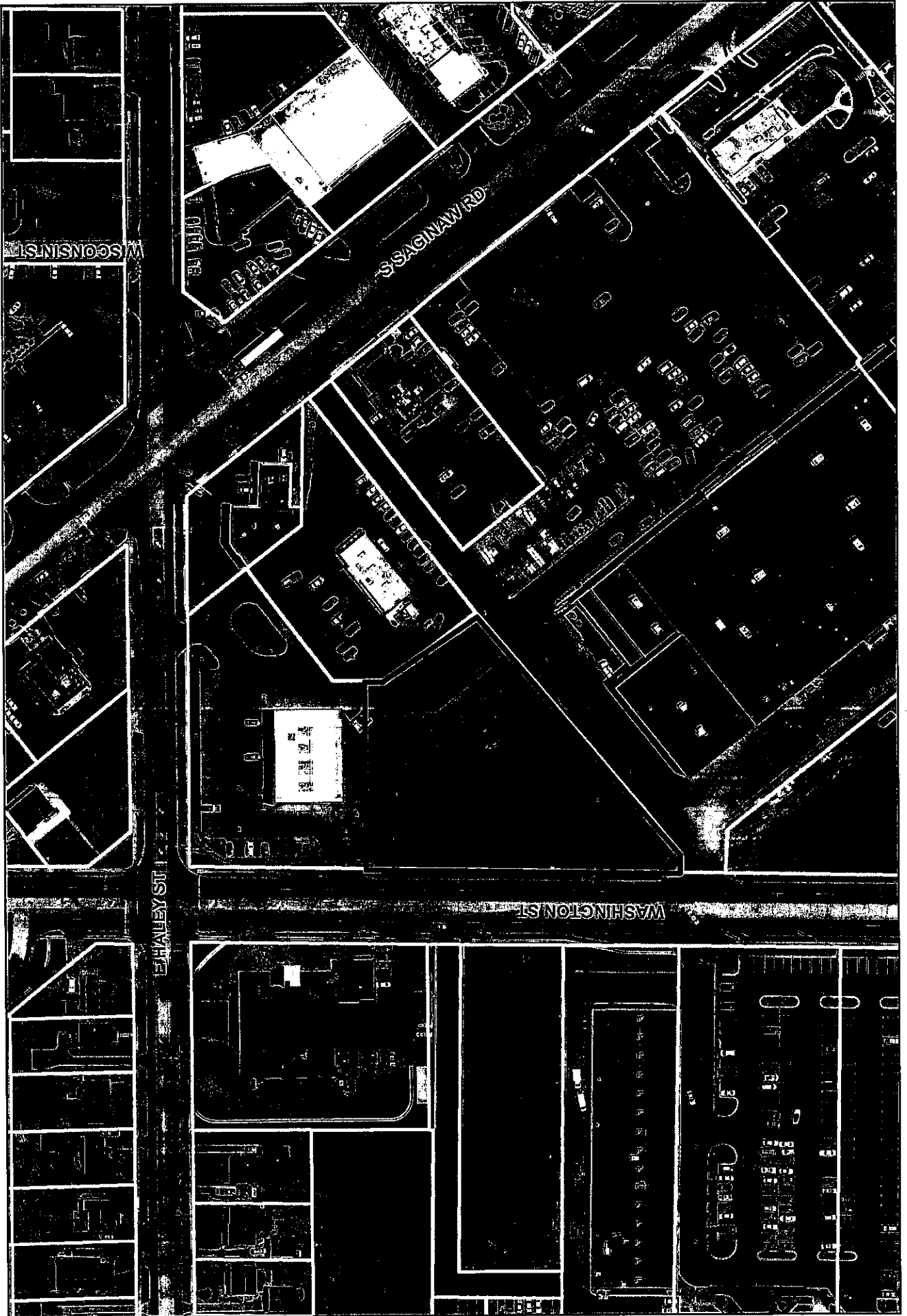
Respectfully submitted,



Keith Baker, AICP
Director of Planning & Community Development

MINUTES ARE NOT FINAL UNTIL APPROVED BY THE PLANNING COMMISSION

CUP #37



SITE / CIVIL DRAWINGS FOR

A & W RESTAURANT 1514 WASHINGTON STREET

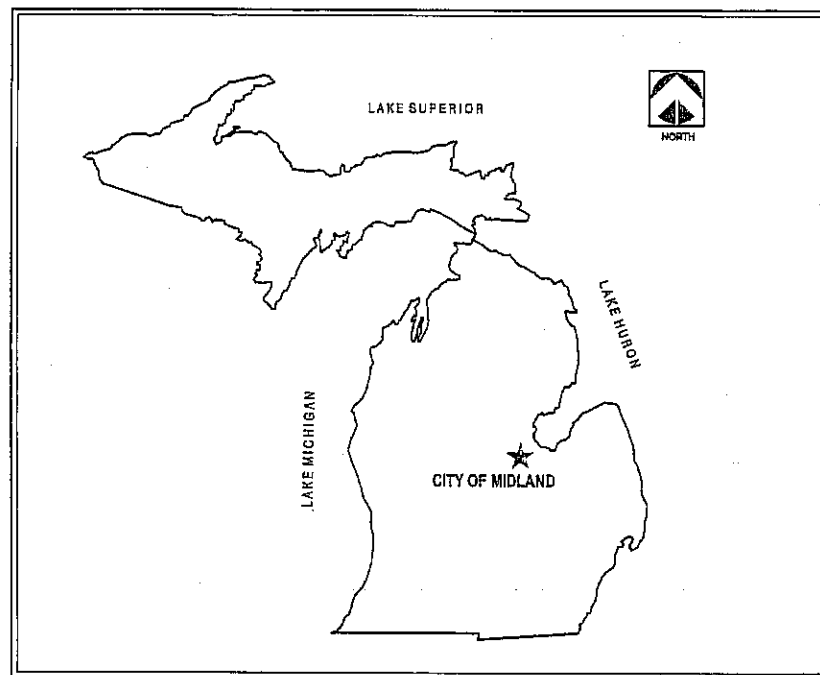
RECEIVED
DEC 02 2009
PLANNING DEPT

MUNICIPAL CONTACTS

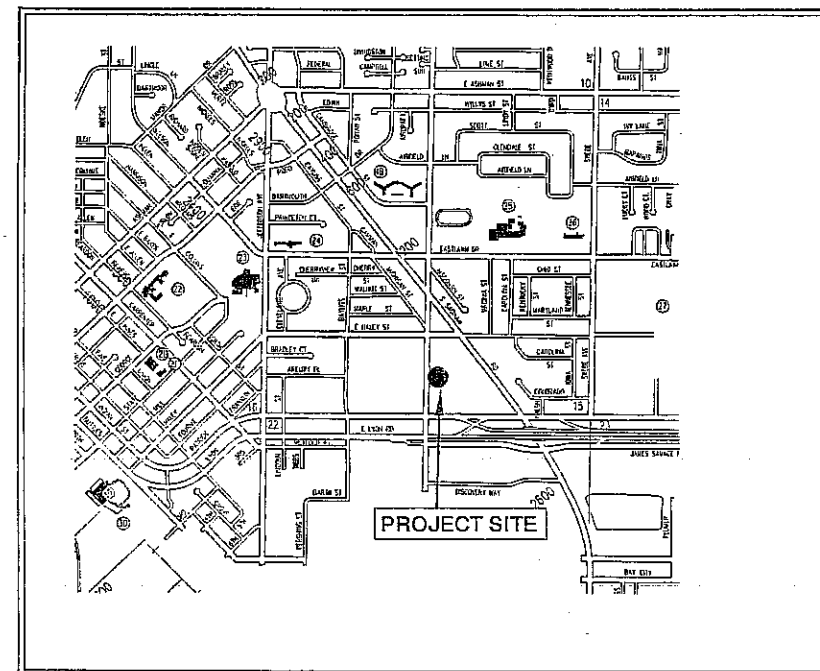
CITY OF MIDLAND ENGINEERING DEPT.
DAVE FOOTE
333 WEST ELLSWORTH
MIDLAND, MICHIGAN 48640
PHONE: (989) 837-3348

CITY OF MIDLAND UTILITIES DEPT.
NOEL BUSH
333 WEST ELLSWORTH
MIDLAND, MICHIGAN 48640
PHONE: (989) 837-3341

CITY OF MIDLAND PLANNING DEPARTMENT
KEITH BAKER, DIRECTOR OF PLANNING
AND COMMUNITY DEVELOPMENT
333 WEST ELLSWORTH
MIDLAND, MICHIGAN 48640
PHONE: (989) 837-3377



PROJECT LOCATION
NO SCALE



LOCATION MAP
NO SCALE

PLAN INDEX

- C1.... COVER SHEET
- C2.... TOPOGRAPHIC SURVEY
- C3.... SITE PLAN
- C4.... REMOVAL PLAN
- C5.... SITE GRADING / SOIL EROSION CONTROL PLAN
- C6.... UTILITY PLAN
- C7.... LANDSCAPE PLAN
- C8.... PHOTOMETRIC PLAN
- C9.... DETAIL SHEET

ALL ELEVATIONS ARE TO CITY OF MIDLAND DATUM



SUBMITTED 12-2-09

CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN

OWNER:
STROHKIRCH FAMILY REAL ESTATE LLC.
3271 FAIRWAY DRIVE
STANDISH, MICHIGAN 48668
PHONE: 989-845-0788

GENERAL CONTRACTOR
MANN CONSTRUCTION
P.O. BOX 609
HARRISON, MICHIGAN 48625
PHONE: 989-539-1720 EXT. 26



BEFORE YOU DIG
CALL MISS DIG
CALLS FREE
WORKING DATE:
811
1-800-452-7171

CIVIL DESIGN CONSULTANT



FLEIS & VANDENBRINK
ENGINEERING, INC.

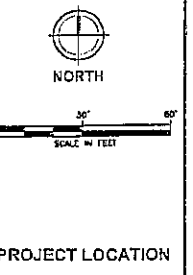
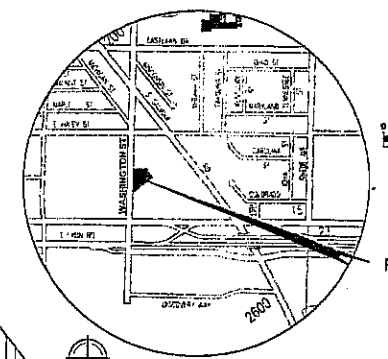
304 West Wackerly, Suite 600, Midland, MI 48640
Phone: (989) 837-3280 Fax: (989) 837-3290

SHEET NUMBER

C1

BM #1 EL. 830.23'
 "X" ON LIGHT POLE BASE
 SOUTH SIDE K-MART DRIVE
 ENTRANCE SOUTH OF PROJECT SITE

INTERIOR 1/4 CORNER
 SECTION 15, T14N-R2E
 CITY OF MIDLAND
 RECON LCRC 1050



FLEIS & VANDENBRINK
ENGINEERING, P.C.
 304 W. Washington St., Ste. 400, Midland, MI 48640
 Phone: (989) 837-3580 Fax: (989) 837-0055

1514 WASHINGTON STREET
 MIDLAND, MICHIGAN 48642

DATE	BY	REVISION

MANN CONSTRUCTION
 SECTION 15, TOWN 14 NORTH, RANGE 2 EAST
 CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN

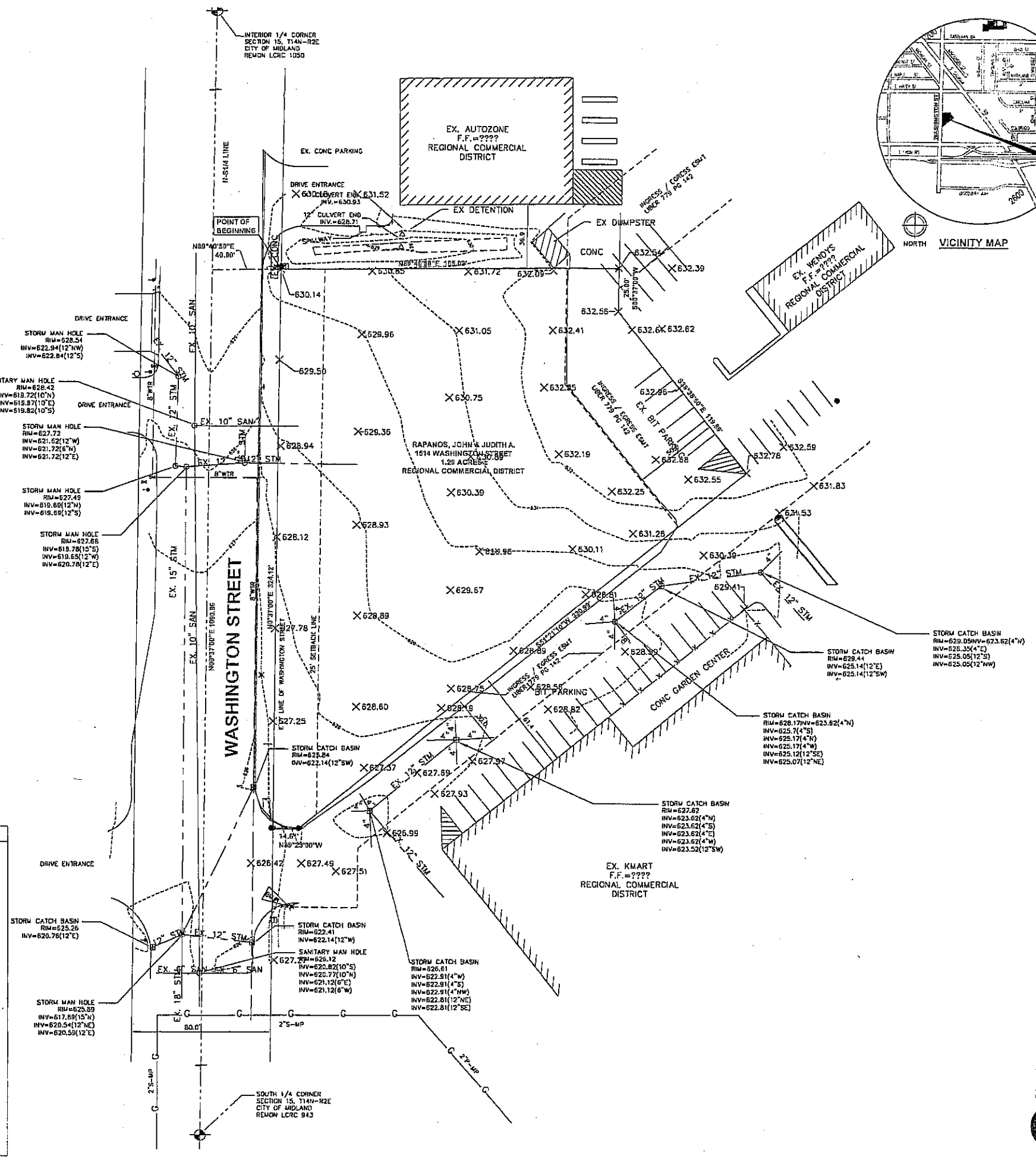
TOPOGRAPHIC SURVEY

PROJECT NO.	DATE
602630	
DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	1" = 30'

PROJECT 602630
C2
 SHEET NO.

LEGEND

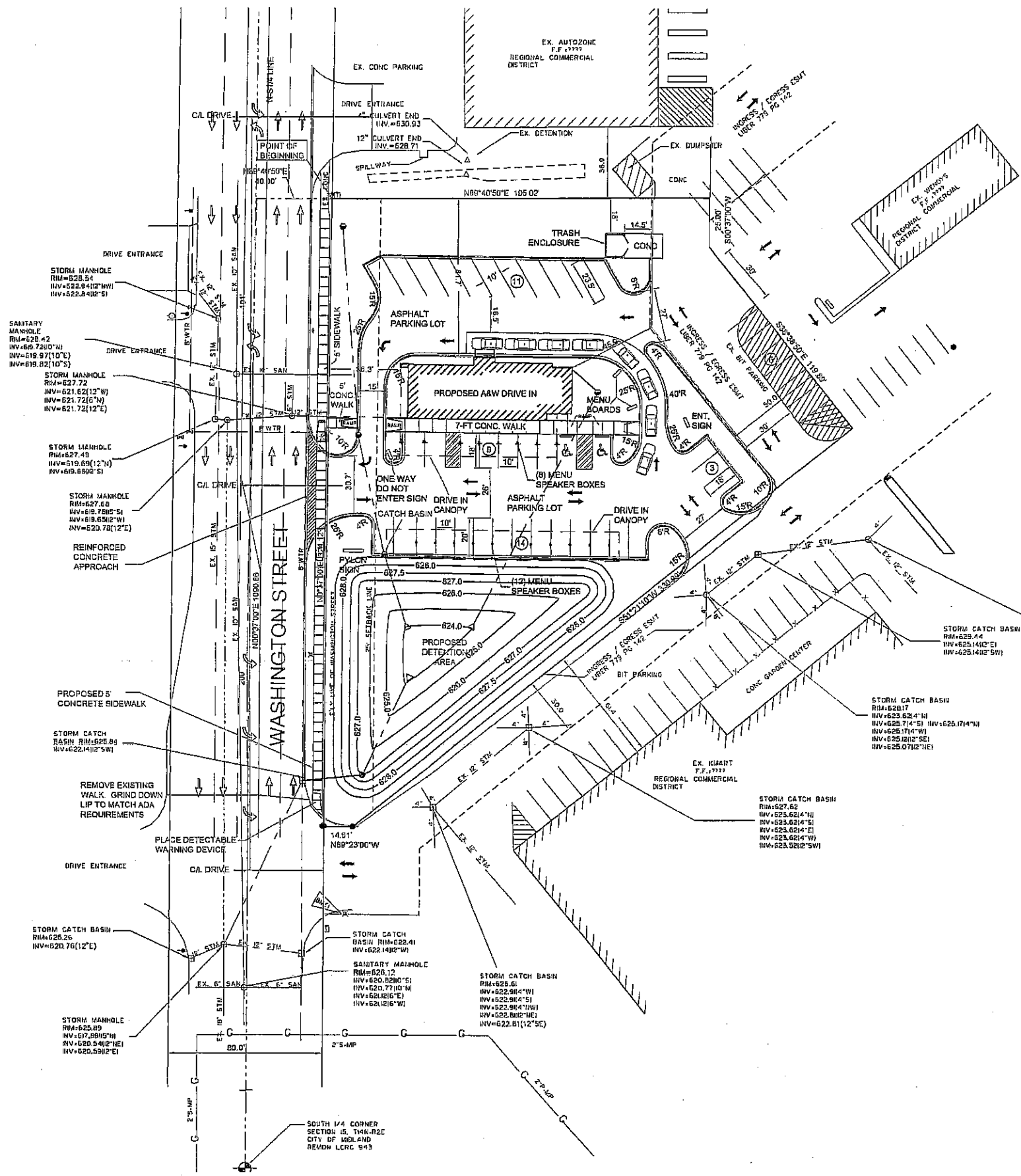
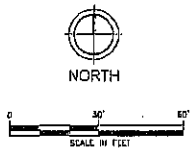
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	TREE (DECIDUOUS)		CABLE BOX		TEMP. SURVEY POINT
	BUSH		TELEPHONE RISER		BENCHMARK
	TREE (CONIFEROUS)		TELEPHONE MANHOLE		SECTION CORNER
	DEAD TREE		ELECTRICAL RISER	PROPERTY LINE	
	STUMP		ELECTRICAL MANHOLE		WATERMAIN
	MANHOLE		POWER POLE		SANITARY SEWER
	SANITARY CLEANOUT		LIGHT POLE		STORM SEWER
	RD. CATCH BASIN		GUY POLE		CABLE TV CATV
	SO. CATCH BASIN		SIGN		TELEPHONE
	FIRE HYDRANT		RAILROAD		ELECTRIC
	WATER VALVE		YARD LIGHT		OVERHEAD LINES
	CURB STOP & BOX		FOUND CONC. MONUMENT		FENCE
	WELL		FOUND IRON ROD		WOODLINE
	WATER MANHOLE		SET IRON ROD		CULVERT (UNDER 10')
	WATER METER	NOTE: ALL ITEMS LISTED ON THE LEGEND MAY NOT BE PRESENT ON DRAWING.			
	SOIL BORING				
	MONITORING WELL				



ALL PROPERTY AND/OR RIGHT-OF-WAY LINES SHOWN ARE APPROXIMATE
 ALL UNDERGROUND UTILITIES ARE APPROXIMATE BASED OFF UTILITY AND/OR AS-BUILT PLANS OR FIELD OBSERVATIONS.



BEFORE YOU DIG
 CALL MISS DIG
 CALL 3-1-1
 WORKING DAYS 8:00 AM - 5:00 PM
 1-800-422-7171



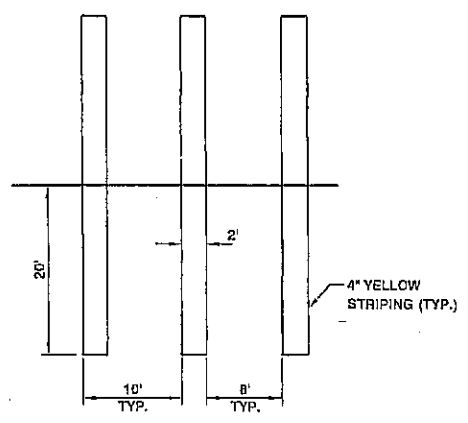
DESIGN CRITERIA

LOT AREA	= 1.26 ACRES
GROSS FLOOR AREA	= 2385-SF
USEABLE FLOOR AREA	= 630-SF
BUILDING HEIGHT	= 28'
CURRENT ZONING	= RC REGIONAL COMMERCIAL
PARKING REQUIRED	
REGIONAL COMMERCIAL RESTAURANT, DRIVE THROUGH = 1 SPACE FOR EVERY 30-SF OF USEABLE FLOOR SPACE 838/30 = 28	
1 SPACE PER EMPLOYEE = 9	
5 STACKING SPACES PER DRIVE THROUGH LANE	
STANDARD SPACES	= 35
BARRIER FREE	= 2
TOTAL REQUIRED SPACES	= 37
PARKING PROVIDED	
HANDICAP PARKING	= 2 SPACES
STANDARD PARKING	= 35 SPACES
TOTAL PARKING PROVIDED	= 37 SPACES
BUILDING SETBACKS	
WEST - FRONT YARD SETBACK	= 25' = AS SHOWN
SOUTH - SIDE YARD SETBACK	= NONE = NONE
EAST - REAR YARD SETBACK	= NONE = NONE

SITE LIGHTING TO BE PROVIDED BY BUILDING MOUNTED SHOE BOX TYPE 200 WATT METAL HALIDE WALL PACKS (SEE PHOTOMETRIC PLAN).

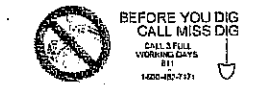
FLOODPLAIN & WETLAND N/A SOIL EROSION AND SEDIMENTATION CONTROL B.M.F. STANDARDS

NOTE: LIGHT POLE HEIGHT NOT TO EXCEED 20 FT. ALL FIXTURES WILL BE SHIELDED TO AVOID CASTING LIGHT ONTO ADJOINING PROPERTY. THE AVERAGE LIGHT INTENSITY SHALL BE A MINIMUM OF 1.0 FOOT CANDLE. REFER TO ELECTRICAL SITE PLAN SHEET E1 FOR SITE LIGHTING INFORMATION.



DOUBLE STRIPING REMOVED IN DRAWING FOR CLARITY
 TYPICAL PARKING SPACE LAYOUT
 NO SCALE

ALL PROPERTY AND/OR RIGHT-OF-WAY LINES SHOWN ARE APPROXIMATE
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1514 WASHINGTON STREET
 MIDLAND, MICHIGAN 48642

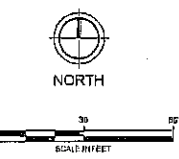
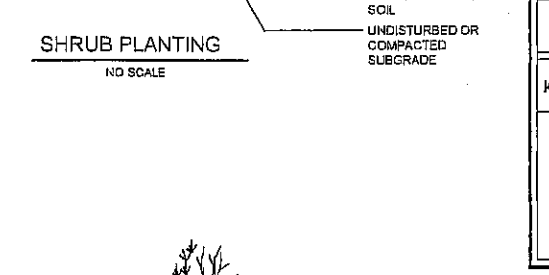
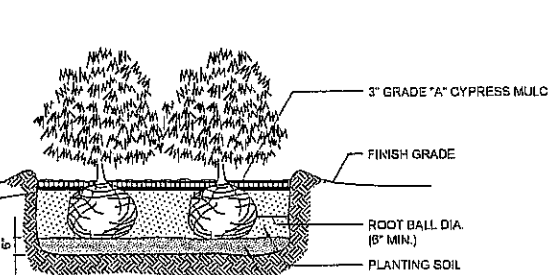
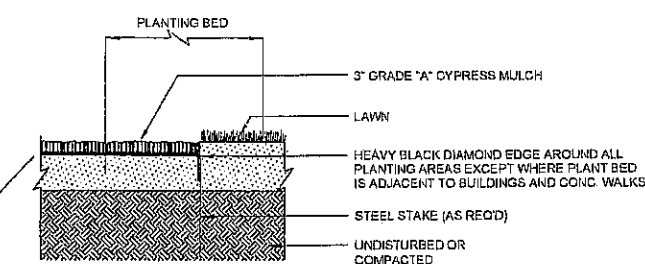
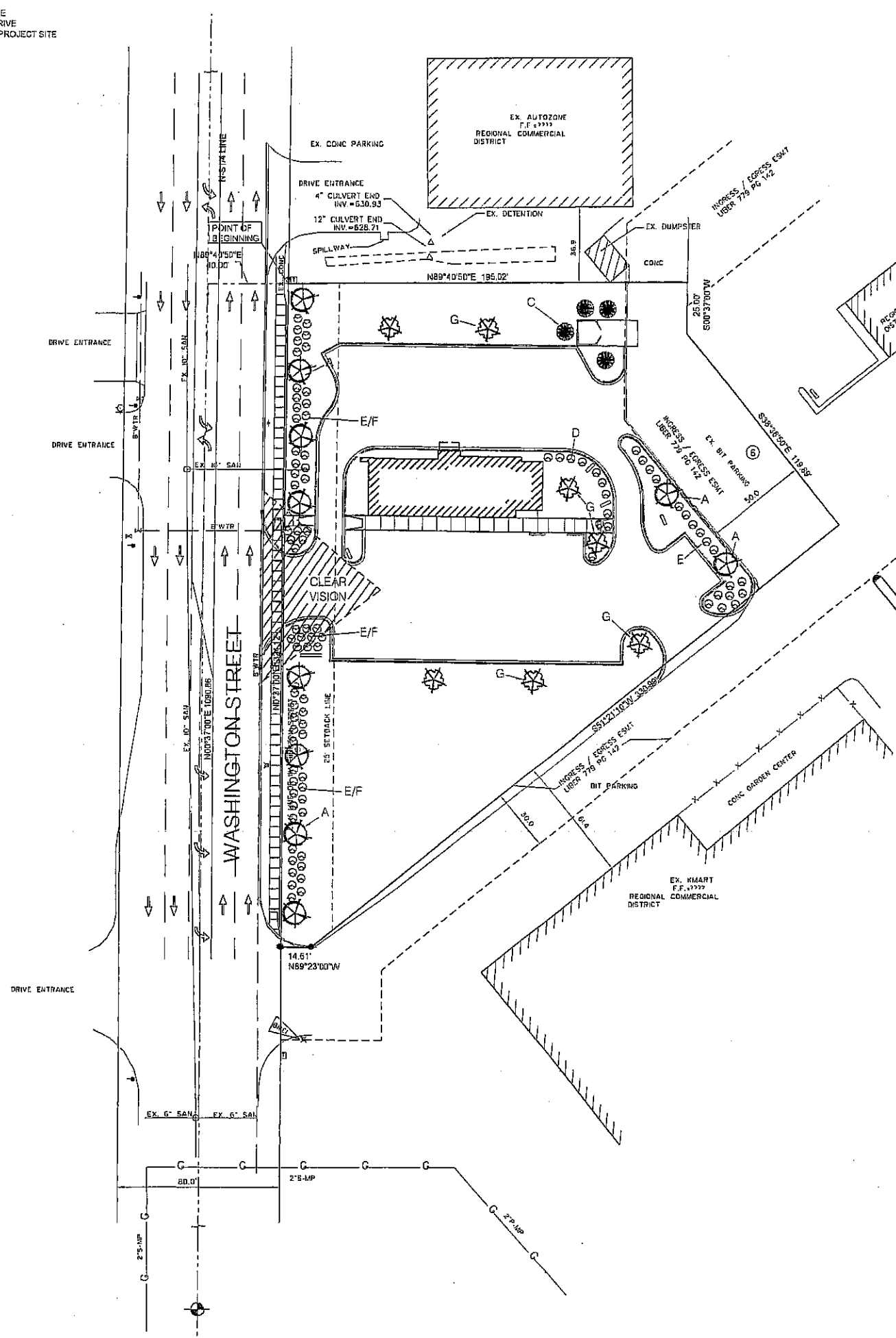
NO.	DATE	BY	REVISION
1	11-30-09		REVISED PARKING SPACE DETAIL
2			REVISED SIDEWALK DETAIL TO MATCH ADA REQUIREMENTS
3			REVISED ADDRESS WAS TO BE DETERMINED
4			CHANGED GEOMETRY OF EAST ENTRANCE & DRIVEWAY

REVISED AS APPROPRIATE WITH CONSTRUCTION RECORDS

MAIN CONSTRUCTION
 SECTION 15, TOWN 14 NORTH, RANGE 2 EAST
 CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN

PROJECT NO.	DATE
028	NOV. 2009
DJD2	NOV. 2009
PRG	NOV. 2009

DESIGNER: DJD
 CHECKED BY: DAK
 DATE: NOV. 2009
 FILE NO: 028-30-30-SITE-PLAN
 DATE: 11/10/09
 SCALE: 1" = 30'
 DRAWN: BARRAC



LOT FRONTAGE LANDSCAPING REQUIRED

1514 WASHINGTON STREET
 13214 F FRONTAGE
 1214' E DECIDUOUS TREES
 321-40' E 65 SHRUBS

INTERIOR PARKING LOT LANDSCAPING

137 PARKING SPACES (200 FT²) 740 SF REQUIRED
 200000 PAVED
 730 SF 75' 10 SHRUBS
 740 SF 300' 3 TREES
 86% OF INTERIOR LANDSCAPE AREA TO BE COVERED WITH 500 SHRUBS
 GROUND COVER OR TREES

TOTAL TREES AND SHRUBS REQUIRED:

TOTAL SHRUBS REQUIRED 75
 TOTAL TREES REQUIRED 11

WASHINGTON STREET	PARKING LOT	TOTAL
TREES 8	3	11
SHRUBS 65	10	75

TOTAL TREES AND SHRUBS PROVIDED:

WASHINGTON STREET	PARKING LOT	TOTAL
TREES 8	3	11
SHRUBS 65	10	75

PLANT MATERIALS LIST				
KEY	QTY.	COMMON NAME	SIZE	ROOT
A	10	LINDEN	2" CAL	B&B
B	0	CRABAPPLE	1 1/2" CAL	B&B
C	4	FIR	5" TALL	B&B
D	11	JUNIPER (EVERGREEN)	2' HT.	CONT.
E	60	VIORNJUM	2' HT.	CONT.
F	32	ELIOMYLIUS	2' HT.	CONT.
G	7	SKYLINE LOCUST	2" CAL	B&B

- NOTES:**
1. ALL PLANTING BEDS TO HAVE 3"-4" SHREDDED BARK
 2. ALL PLANTING BEDS TO BE EDGED WITH BLACK DIAMOND EDGING.

GENERAL NOTES

1. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE.
2. EXACT LOCATION OF ALL TREES TO BE DETERMINED IN THE FIELD BY THE ENGINEER AND OWNER.
3. ALL TREES SHALL BE MULCHED 18" BEYOND THE WEEP LINE.
4. ALL AREAS DESIGNATED TO BE SEEDED SHALL BE HYDROSEEDING AT 100% SOWING RATE (MIN.) AND MULCH AT 3 TONS/ACRE AND ANCHORED WITH MULCH ADHESIVE.
5. ALL AREAS DESIGNATED TO BE SEEDED SHALL BE TILLED TO A MIN. DEPTH OF 3" IN A FRIABLE CONDITION AND FINE GRADED PRIOR TO HYDROSEEDING.
6. PLACE STOCKPILED TOPSOIL IN AREAS AROUND BUILDING TO PROVIDE A MINIMUM OF 4" OF TOPSOIL.
7. UNIT PRICE FOR ALL CYPRESS MULCH AROUND TREES TO BE INCLUDED IN THE TREE UNIT PRICE.

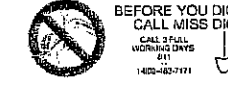
1514 WASHINGTON STREET
 MIDLAND, MICHIGAN 48642

NO.	REVISIONS	DATE	BY	DATE
1	REVISED PER CITY OF MIDLAND STAFF REVIEW			

MANN CONSTRUCTION
 SECTION 15, TOWN 14 NORTH, RANGE 2 EAST
 CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN

PROJECT NO.	DATE
0003	NOV. 2000
DRAWN BY	DATE
DJD	NOV. 2000
CHECKED BY	DATE
PRC	NOV. 2000
CAD FILE	
003003LANDSCAPE.PLA	
FIG.	
DJD110003	
SCALE	
1"=50'	
DRAWING	

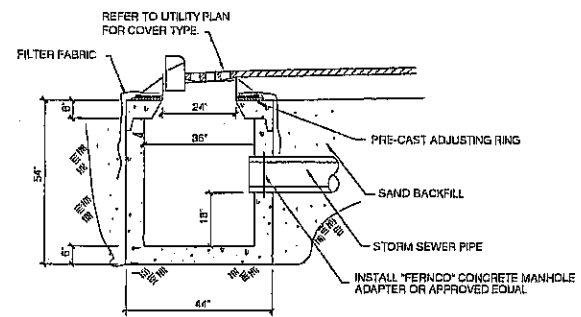
ALL PROPERTY AND/OR RIGHT-OF-WAY LINES SHOWN ARE APPROXIMATE
 ALL UNDERGROUND UTILITIES ARE APPROXIMATE BASED OFF UTILITY AND/OR AS-BUILT PLANS OR FIELD OBSERVATIONS



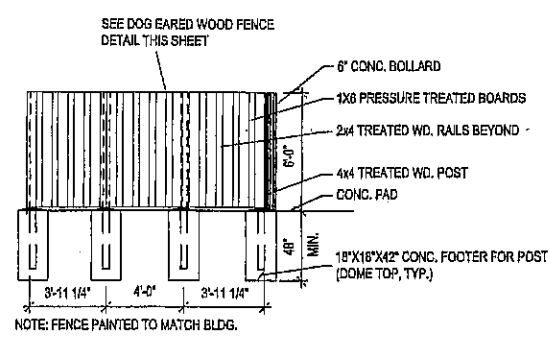
GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH CITY OF MIDLAND STANDARDS.
2. ALL SURPLUS FILL MATERIAL AND TOPSOIL SHALL BE REMOVED FROM SITE UNLESS OTHERWISE AGREED TO WITH THE OWNER.
3. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF MIDLAND PRIOR TO THE START OF CONSTRUCTION.
4. THE EXISTING UTILITIES EMPLOYER OR THE ENGINEER ARE APPROPRIATE LOCATIONS. THE CONTRACTOR SHOULD CONTACT THE APPROPRIATE UTILITY COMPANY FOR THE EXACT LOCATION AND DEPTH OF EACH UTILITY.
5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL COSTS FOR LOCATING, REPAIRING, REPLACING OR RELOCATING THESE UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL UTILITIES EXPOSED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT AN ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGING.
7. CONTRACTOR SHALL NOTIFY PROPER GOVERNMENTAL INSPECTION AGENCY 48 HOURS PRIOR TO STARTING CONSTRUCTION.
8. COMPACTED SAND BACKFILL M.D.O.T. CLASS #1 LIMITED TO 17 MAXIMUM SIZE OR APPROVED EQUAL IS TO BE USED EXCLUSIVELY IN ALL UTILITY TRENCHES AND UNDER ALL PAVED AREAS THROUGHOUT THE COURSE OF THE PROJECT UNLESS OTHERWISE SPECIFIED AND COMPACTED TO 95% OF ITS MAXIMUM WEIGHT AS DETERMINED BY ASTM D 1557-99.
9. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION REGARDING CONSTRUCTION MAINTAINING TRAFFIC SURFACING BORING BACKFILL AND RESTORATION. THERE WILL BE NO ADDITIONAL COMPENSATION DUE TO THE CONTRACTOR FOR COMPLYING WITH THESE REQUIREMENTS.
10. THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE ALL WORK IN AN EXTENSIVE MANNER AND SHALL NOT STOP CONSTRUCTION FOR EXTENDED PERIODS ONCE CONSTRUCTION HAS BEGUN.
11. THE CONTRACTOR SHALL FURNISH THE OWNER & THE CITY OF MIDLAND ONE COMPLETE SET OF "AS BUILT" PLANS UPON COMPLETION OF THE PROJECT.
12. THE CONTRACTOR SHALL MAINTAIN IN SERVICE ALL EXISTING SANITARY SEWER WATER OR STORM SEWER SERVICE CONNECTIONS.
13. THE CONTRACTOR SHALL REMOVE OFF-SITE ALL TREES, VEGETATION, CONCRETE, STUMPS, ROOTS, AND FOUNDATIONS FROM PROJECT SITE AND DISPOSED OF AT A DISPOSAL SITE APPROVED TO ACCEPT THIS DEBRIS (PROVIDE OWNER WITH LOCATION(S) OF DISPOSAL SITE(S)).

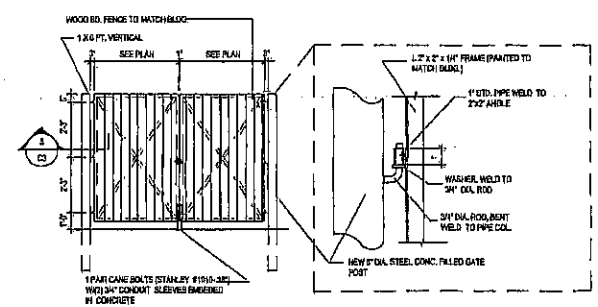
- STORM SEWER**
1. HANCON 24" O.D. SMOOTH WALL SURE-LOK PERFORATED PIPE WITH FILTER SOCK.
 2. PRIOR TO CONSTRUCTION ANY DRAINAGE STRUCTURE THE CONTRACTOR SHALL DETERMINE FOR HIMSELF WHAT TYPE OF TOP SECTION HE SHALL USE IN ESTABLISHING THE DESIGNATED RIM ELEVATIONS.
- WATER MAIN**
1. MINIMUM COVER TO TOP OF WATER MAIN SHALL BE 5 FEET FROM FINISHED GRADE.
 2. MINIMUM HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWERS SHALL BE 5 FEET.
 3. ALL PRESSURE TAPS TO EXISTING WATER MAINS SHALL BE MADE ONLY UNDER CITY OF MIDLAND SUPERVISION. CONTRACTOR SHALL NOTIFY THE CITY OF MIDLAND FOR DRAINING AND/OR CLOSING EXISTING VALVES OR WHEN CONNECTING TO EXISTING STUDS AND FOR ALL PRESSURE TAPS.
 4. ALL MATERIALS TO BE APPROVED BY THE CITY OF MIDLAND PRIOR TO THE START OF CONSTRUCTION.
 5. ALL MATERIALS TO BE DUCTILE IRON CLASS 50W POLYWRAP CONFORMING TO ANSI/AWWA C105 AND A21.5-04.
- SANITARY SEWER**
1. SANITARY SERVICE PIPE
 1. CITY OF MIDLAND STANDARD
 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST CITY OF MIDLAND STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR SANITARY SEWER CONSTRUCTION.
 3. ALL SEWERS WILL BE INSPECTED AND GIVEN FINAL APPROVAL BY THE CITY OF MIDLAND BEFORE BACKFILLING IS ALLOWED.
 4. ALL TRENCHES TO BE COMPACTED TO 95% MAXIMUM DENSITY AS PER ASTM D 1557.



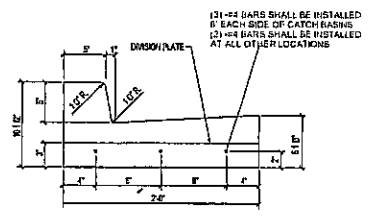
STANDARD CATCH BASIN
NO SCALE



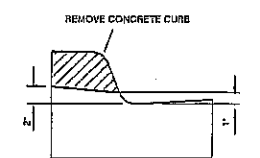
DUMPSTER ENCLOSURE DETAIL
NO SCALE



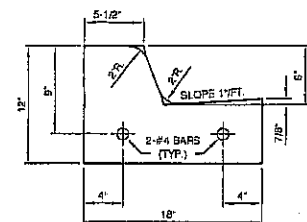
DUMPSTER GATE & HINGE DETAIL
NO SCALE



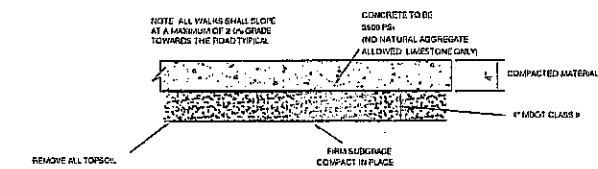
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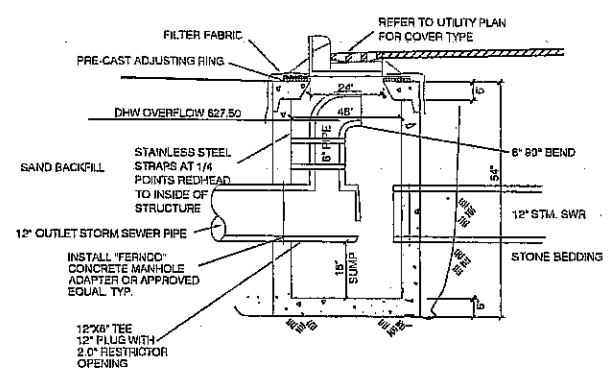
BACK OF CURB REMOVAL
NO SCALE



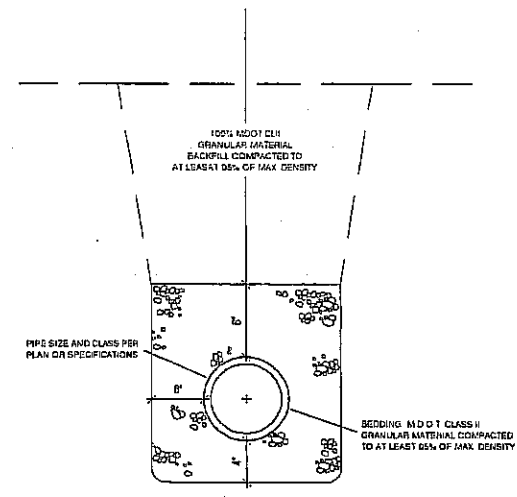
18\"/>



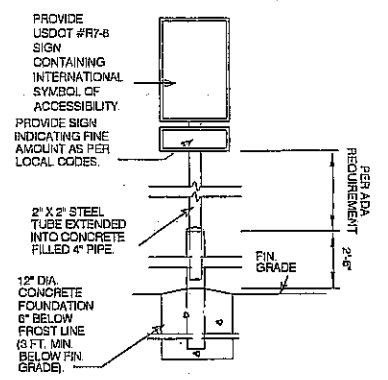
CONCRETE SIDEWALK DETAIL
NO SCALE



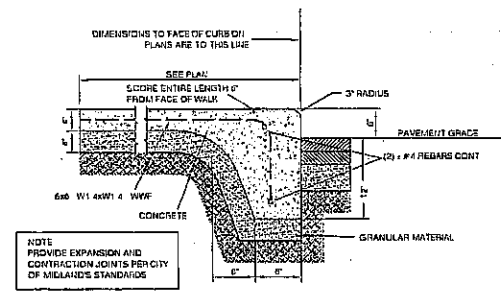
OUTLET / RESTRICTOR / OVERFLOW CATCH BASIN
NO SCALE



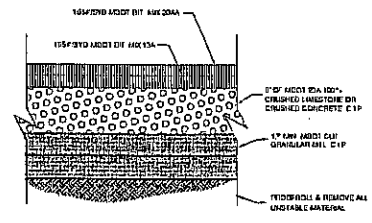
STORM SEWER & DRAIN TRENCH DETAIL
NO SCALE



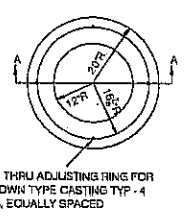
BARrier FREE PARKING SIGN
NO SCALE



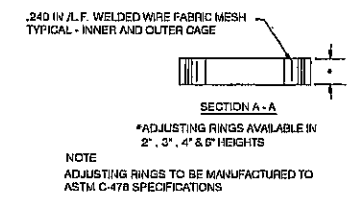
STRAIGHT INTEGRAL CONCRETE CURB/WALK
NO SCALE



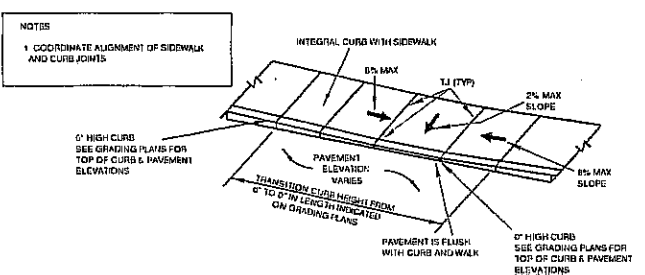
STANDARD DUTY PAVEMENT CROSS SECTION
NO SCALE



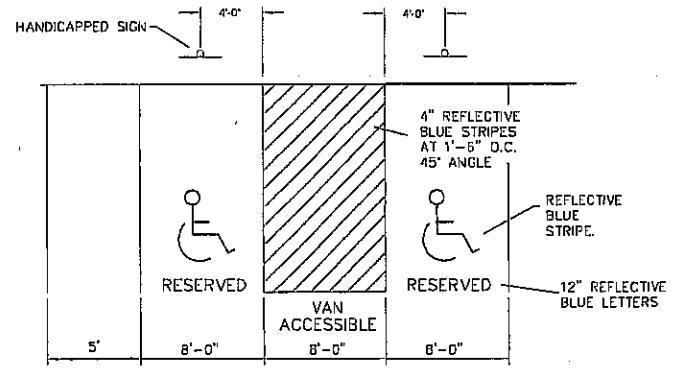
PRE-CAST CONCRETE ADJUSTING RING



SECTION A-A
NOTE: ADJUSTING RINGS TO BE MANUFACTURED TO ASTM C-478 SPECIFICATIONS



INTEGRAL WALK TRANSITION DETAIL
NO SCALE



BARrier FREE PARKING STALLS
NO SCALE

FLEIS & VANDENBRINK ENGINEERING INC.
304 N. WASHINGTON, SUITE 800, MIDLAND, MICHIGAN 48640
Phone: (817) 837-3200 Fax: (817) 837-3200

A & W RESTAURANT
1514 WASHINGTON STREET
MIDLAND, MICHIGAN 48640

NO.	DATE	BY	REVISION
1			REVISED PER CITY OF MIDLAND STAFF REVIEW

A & W RESTAURANT
CITY OF MIDLAND
MIDLAND COUNTY, MICHIGAN

DETAIL SHEET

PROJECT NO.	DATE
02	JUNE '03
DRAWN BY	DATE
DJD	JUNE '03
CHECKED BY	DATE
DBB	JUNE '03
CAD FILE	EDR
C7	
SCALE	NONE
DRAWING	1:1
PLAT SCALE	

PROJECT: **C9**
SHEET NO.

