



ZONING ORDINANCE

ARTICLE 3.00

Section 3.03

ACCESSORY BUILDINGS AND STRUCTURES

For more information, please contact:
The Building Department
989-837-3383

or
The Planning Department
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City Hall
333 W. Ellsworth St.
Midland MI 48640

Section 3.03 -- ACCESSORY BUILDINGS AND STRUCTURES

A. General Requirements

1. **Timing of Construction**

No accessory building, including private garages and utility buildings, shall be constructed upon or moved to any parcel of property unless there is a principal building, structure or use being constructed or already existing on the same parcel of land.

2. **Location in Proximity to Easements or Rights-of-Way**

Accessory buildings, structures, or uses shall not be located within a dedicated easement or right-of-way, unless the terms of the easement or right-of-way specifically permit such buildings, structures, or uses.

3. **Attached Accessory Buildings**

Unless otherwise specified in this Section, accessory buildings or structures which are attached to the principal building (such as an attached garage, breezeway, or workshop) shall be considered a part of the principal building for the purposes of determining conformance with area, setback, height, and bulk requirements.

4. **Use Restrictions**

No accessory building shall be used in any part for dwelling purposes.

5. **Applicability of Other Codes and Ordinances**

Accessory buildings and structures shall be subject to all other applicable codes and ordinances regarding construction, installation, and operation.

B. Accessory Buildings in Agricultural, RA-1, RA-2, RA-3, RA-4 and RB Zoning Districts

1. **Location of Detached Accessory Buildings**

Detached accessory buildings or portions thereof, including private garages, shall not be erected in nor extend into the front yard area.

A detached accessory building may be located in a rear or side yard provided that all requirements of this Section are met.

2. **Setbacks of Detached Accessory Buildings**

An accessory building in a residentially zoned district shall be in compliance with all setback requirements in the table below, and other standards of this ordinance:



Table 3.1: DETACHED ACCESSORY BUILDING SETBACK REQUIREMENTS

Setback From	Minimum Setback	Comments
Front lot line	Front yard (front building line of house)	For a double frontage lot, the minimum setback from the street lot line at the rear of the lot is 20 feet.
Side street lot line	Side street yard (side building line of house)	For a private detached garage with direct access to the side street, the minimum setback is 20 feet.
Side lot line	Required side yard for principal building (See Section 26.02)	Required setback from the side lot line is 3 feet when in the rear yard.
Rear lot line	3 feet	For a detached accessory building in a multiple-family complex of 2 or more principal buildings, the minimum setback is 10 feet.
Principal Building	6 feet	All buildings shall comply with setback and fire rating requirements in the Building and Fire codes.
Other accessory buildings	6 feet	All buildings shall comply with setback and fire rating requirements in the Building and Fire codes.

3. Size and Lot Coverage

Accessory buildings in rear yards shall not occupy more than thirty-five percent (35%) of the required rear yard. Any accessory building, whether detached or attached, may not have more than eight hundred (800) square feet of gross floor area. The total floor area of all accessory buildings, including garages, shall not exceed the usable residential floor area of the ground floor of the principal building. For land parcels greater than two (2) acres, the area of the accessory buildings shall not exceed the gross floor area of the ground floor of the dwelling structure.

4. Height

Detached accessory buildings shall not exceed sixteen (16) feet.

5. Number of Permitted Accessory Buildings

For any single-family or duplex dwelling unit, the following shall apply:

- a. If any portion of the principal building is defined as a private garage, one (1) additional accessory building is permitted per lot or parcel.
- b. If the private garage is detached from the principal building, one (1) additional accessory building is permitted per lot or parcel.

C. Accessory Buildings in the Residential D Zoning District

All accessory buildings in the Residential D Zoning District shall be in compliance with all requirements and standards in Article 16.00.

D. Accessory Buildings in Community, Office, Commercial, LCMR and Industrial Zoning Districts

1. Setbacks

An accessory building in a Community, Office, Commercial, LCMR, or Industrial Districts shall be in compliance with all setback requirements of the principal building, and other standards of this ordinance, except as follows:

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- a. For allowed residential uses, detached accessory buildings shall be located at least ten (10) feet from any other building.
 - b. Accessory buildings on double frontage lots shall observe front yard setback requirements on both street frontages.

E. Accessory Structures

1. General Requirements

Accessory structures (for example, swimming pools, tennis courts, wind generators, antennae) shall be only located in the rear or side yards and shall comply with height, setback, and lot coverage requirements for accessory buildings, unless otherwise permitted in this Ordinance.

2. Exceptions to Accessory Structure Standards

- a. Antennae and wind generators shall comply with the height standards specified in Section 3.16.A.
- b. Such accessory structures as ornamental light fixtures, flag poles, other ornamental fixtures, basketball backboards, and play equipment (excluding swimming pools), may be located in the front yard, but shall be no closer than six (6) feet to any front or side lot line.

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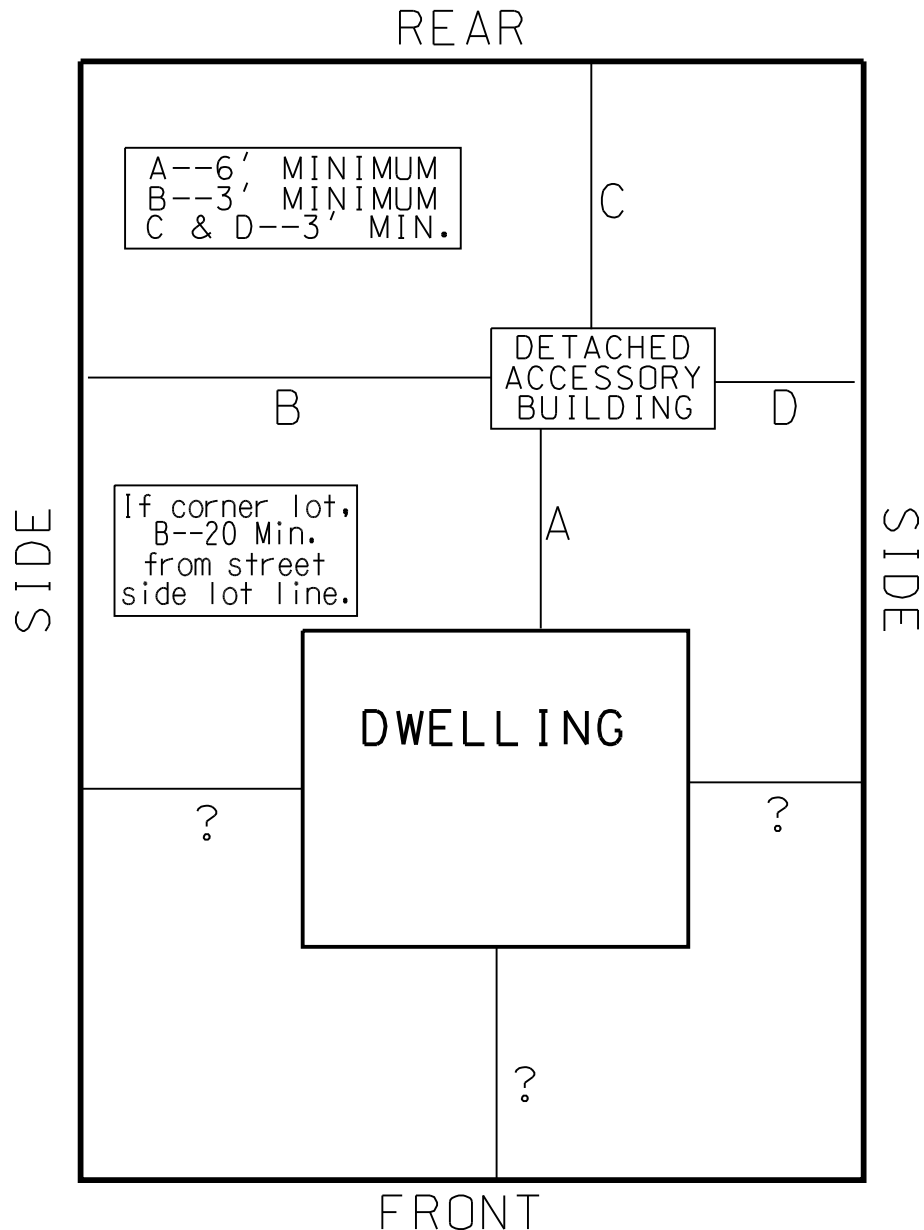
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Visit our website at www.midland-mi.org

TYPICAL PLAN SITE

SIMILAR SITE PLAN MUST BE PRESENTED
WITH APPLICATION FOR PERMIT



ALL MESURMENTS ARE FROM THE PROPERTY LINE.
NOT FROM CURB OR SIDE WALK.

* PLACEMENT OF STORAGE BUILDINGS IN COMMERCIALY ZONED AREAS
ARE AS NOTED IN THE ZONING ORDINANCE

SPECIFICATIONS

PERMITS

Building Permits are required for all detached accessory buildings, garages, storage sheds, etc. over 200 sq ft. Zoning Compliance permit required for placement of sheds less than 200 sq ft.

INSPECTIONS

1. Foundation and setback when forms are in place, before the concrete is placed or back fill of wood foundation system occurs.
2. Final, when the building is complete

FOUNDATIONS

Foundations shall extend no less than six inches above the adjacent finish grade and shall have a minimum depth (as noted by building size) below finish grade. All organic matter such as sod, stumps and roots shall be removed. Foundation must be concrete or foundation grade wood.

ANCHOR BOLTS

Solid concrete: ½" diameter, 8" long
Concrete blocks: ½" diameter, 16" long
Must be spaced a maximum six feet on center and within twelve inches of the end of each plate.

WIND BRACING

Shall be installed at all corners. 1"x 6" let-in, or 2"x 4" cut-in diagonal bracing, metal t-bracing, or ½" plywood panel at all corners, or continuous 4'x 8' fiberboard sheathing may be used for bracing.

HEADERS

Headers and lintels support such varying loads that a table of spans is not considered practical. Therefore, headers and lintels shall be designed to support the actual loads specified by the code.

BUILDING HEIGHT (MAXIMUM)

Shall not exceed sixteen feet in height (average height of the highest gable of a pitched or hip roof).

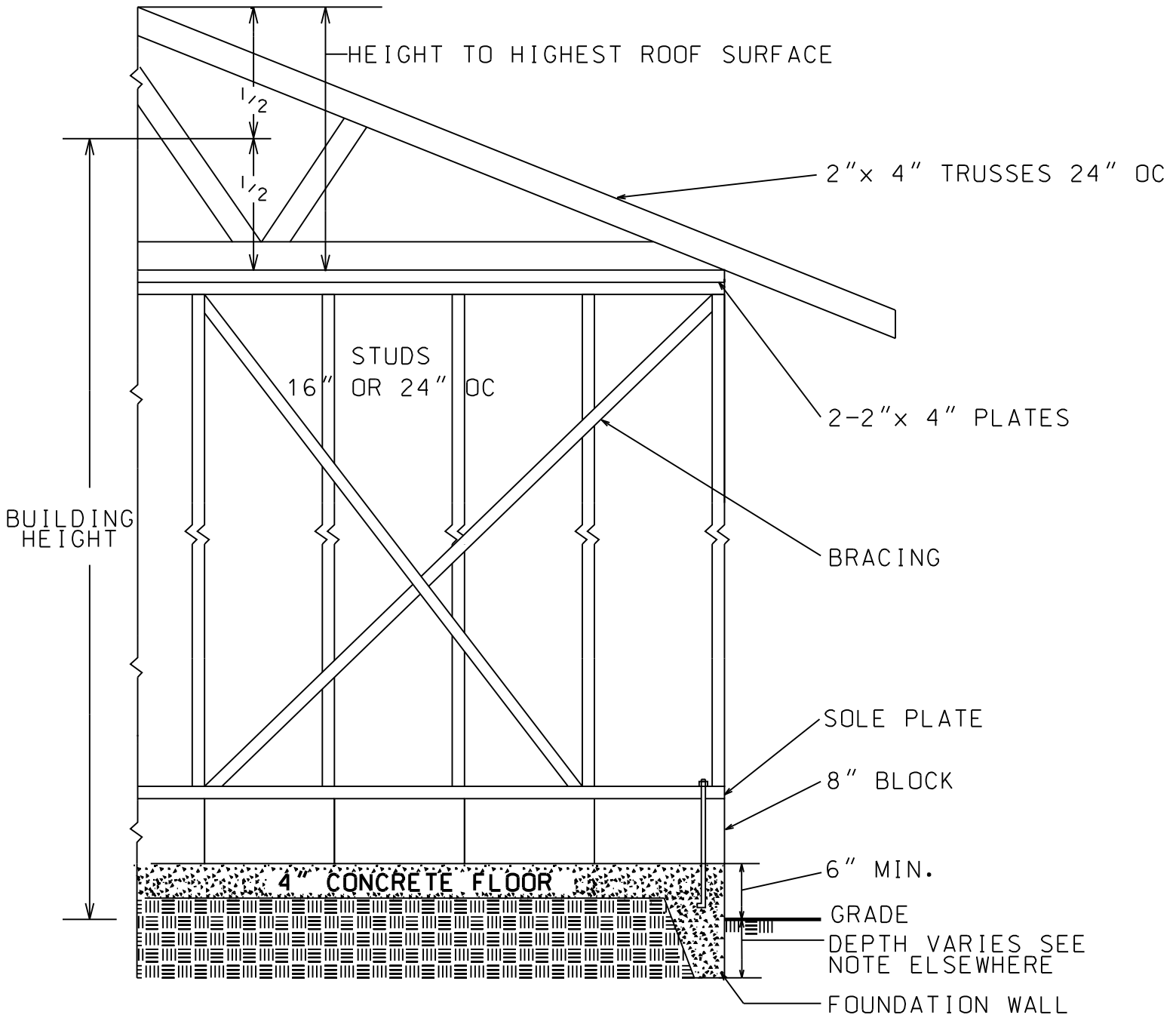
BUILDING AREA

The total area of all accessory buildings may not exceed 800 square feet or the size of the primary structure with the more restrictive provision applying, or exceed 35 % of the required rear yard. Dog houses, play houses, tree houses, etc. are excluded from the total area requirement and do not need a permit. Accessory buildings used for storage and less than twenty five square feet (example Rubbermaid storage bins, etc.) are also exempt from permit and the total area requirement. Any single family residence with only a detached garage may have one additional detached accessory building. Please talk with a building inspector on this or any other situation that you have questions about.

SUBMITTAL MATERIALS

1. Application
2. Site plan identifying all improvements on lot (House, Out Buildings/Shed)
3. Actual contract price (By Contractor) or materials project estimate (Owner & Contractor)
4. Typical wall detail for construction & any details for engineered system

TYPICAL FOUNDATION



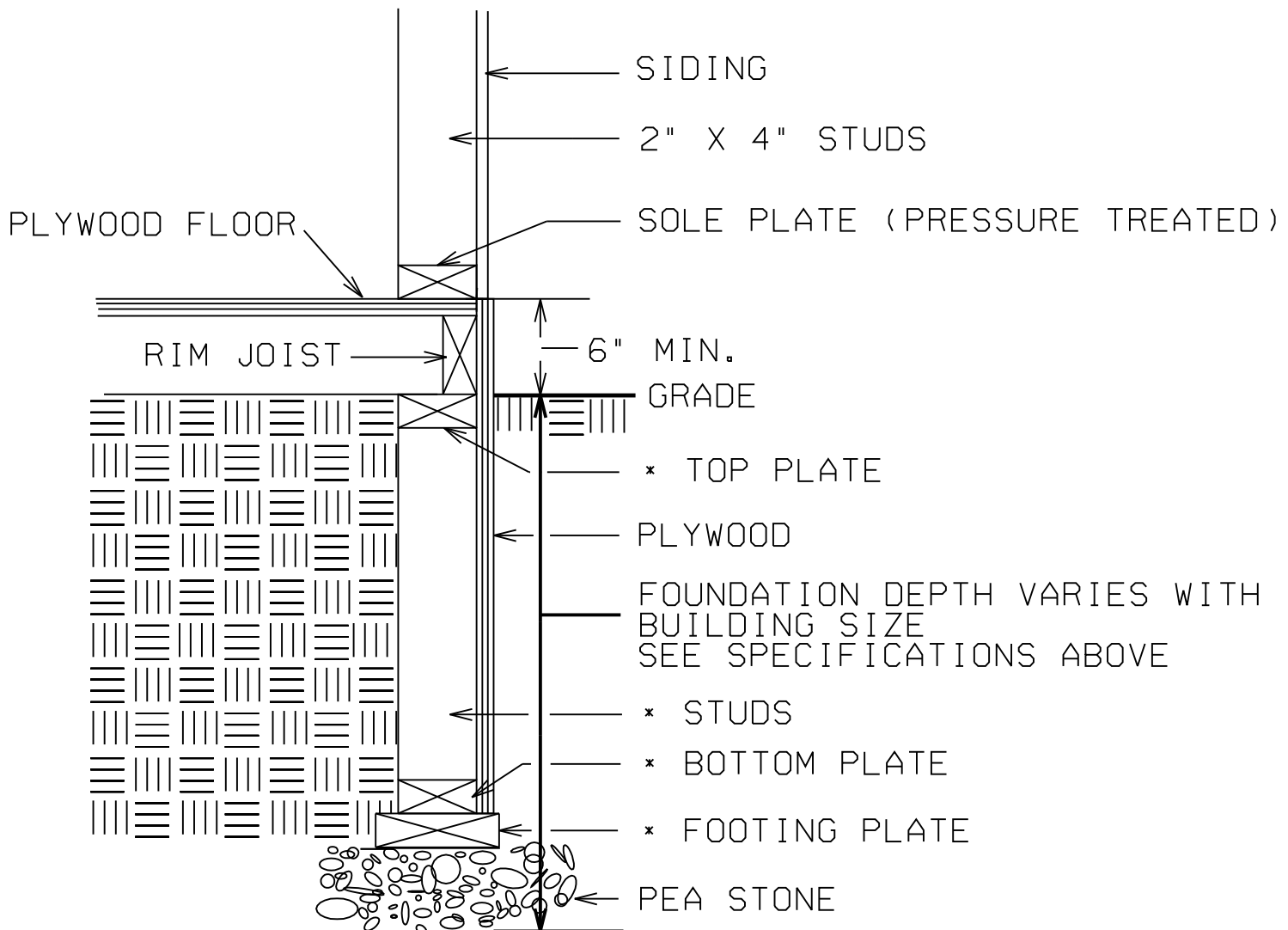
BUILDING HEIGHT - THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE

ALL WOOD TO BE FOUNDATION GRADE (.6) TREATED WOOD

FOUNDATION DEPTH - 12" - BUILDING SIZE UP TO 400 SQ FT
& LESS THAN 10 FEET IN HEIGHT

42" - BUILDING SIZE 401 SQ FT. AND LARGER
OR OVER 10 FEET IN HEIGHT

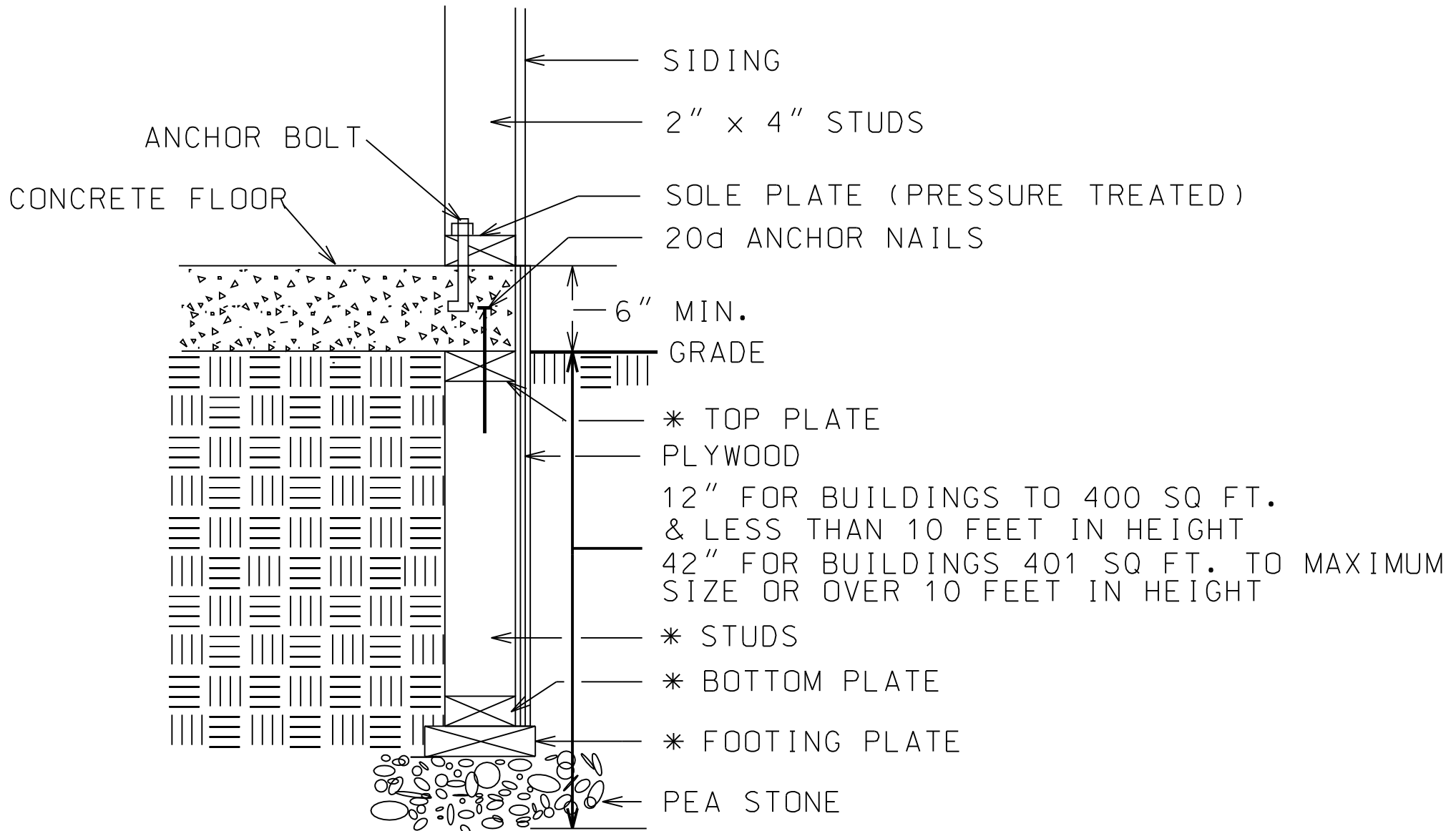
WOOD FOUNDATION SYSTEM FOR SHED WITH WOOD FLOOR



ALL WOOD FROM SOLE PLATE TO BOTTOM OF FOOTING
IS TO BE PRESSURE TREATED

* WOOD FOUNDATION SYSTEM SHALL BE DESIGNED &
INSTALLED IN ACCORDANCE WITH PROVISION FOUND
IN A PERMANENT WOOD FOUNDATIONS MANUAL
(AMERICAN FOREST AND PAPER ASSOCIATION REPORT #7)

WOOD FOUNDATION SYSTEM FOR GARAGE OR SHED WITH CONCRETE FLOOR

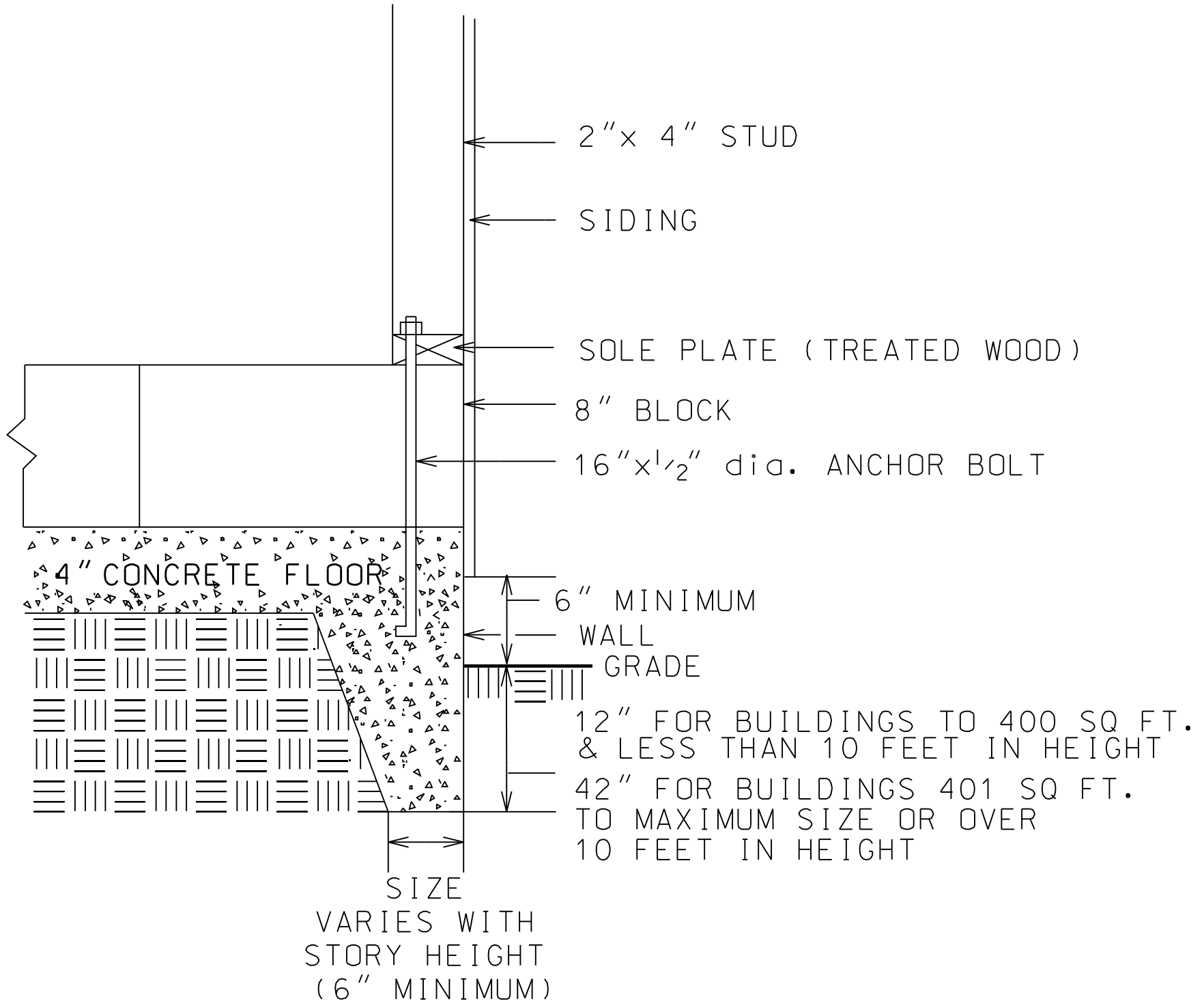


ALL PRESSURE TREATED WOOD BELOW GRADE IDENTIFIED FOR GROUND CONTACT

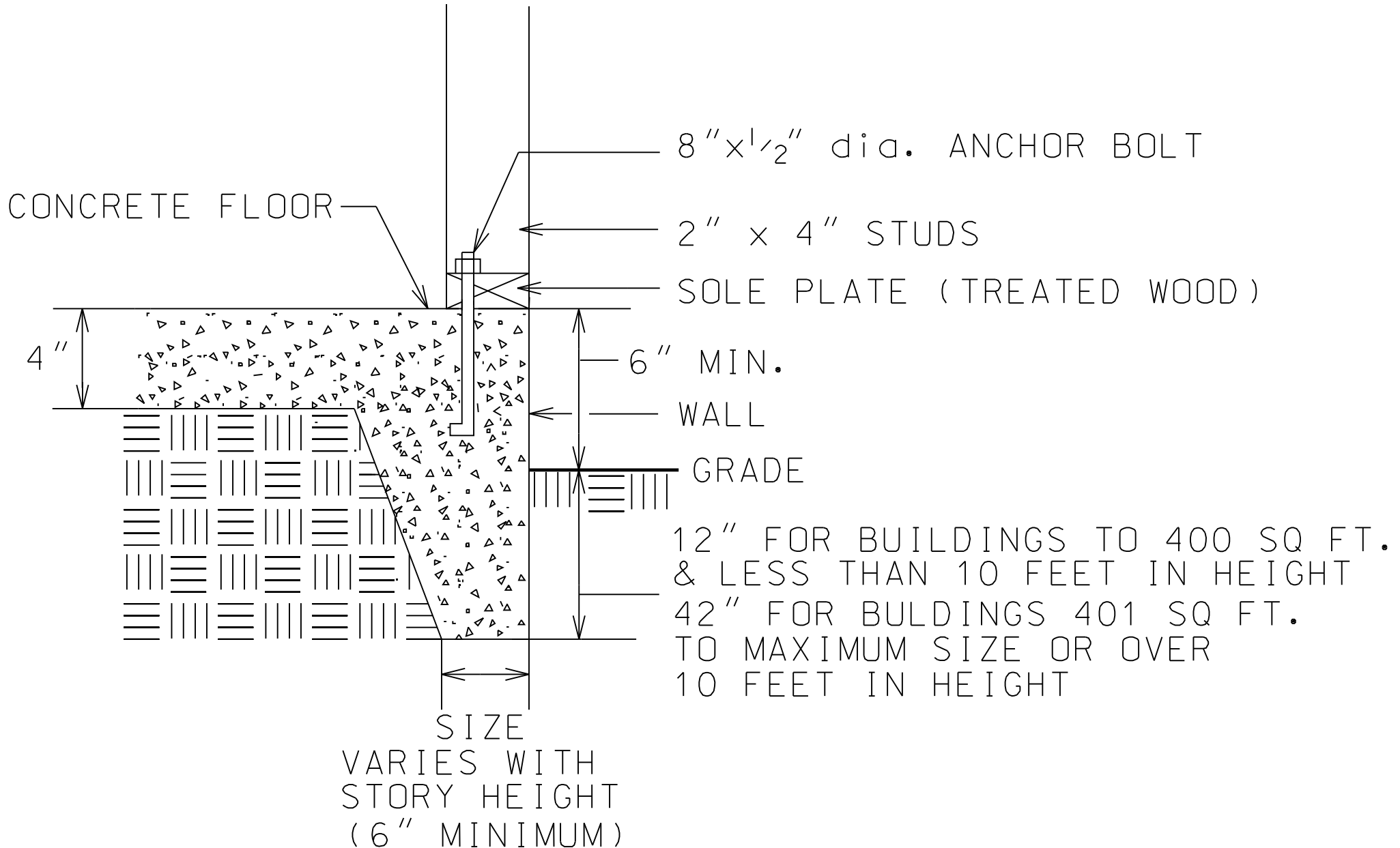
* WOOD FOUNDATION SYSTEM SHALL BE DESIGNED & INSTALLED IN ACCORDING WITH THE PROVISION FOUND IN A PERMANENT WOOD FOUNDATIONS MANUAL

(AMERICAN FOREST AND PAPER ASSOCIATION REPORT #7)

CONCRETE BLOCK DETAIL



FOUNDATION DETAIL POURED FLOOR



GUIDE TO HEIGHT DEFINITIONS

