



**Planning Department**

**Director of Planning and Community Development ..... Keith Baker, AICP,CFM**  
**Community Development Specialist ..... Cheri King**

**Building Department**

**Chief Inspector/Electrical Inspector ..... John Wegner**



## Service Statement

The Planning & Building Inspection Department serves a vast array of clients including city residents, property owners, developers, realtors, businesses and other City of Midland departments. Planning provides and maintains zoning, addressing, floodplain, census, housing, land divisions, inspection and future land use planning information for the community. The department works closely with the Midland Public Schools in the annual planning and construction of the Building Trades Program project. Planning & Community Development staff coordinates with the Information Services Department to create and maintain a set of geographic information system (GIS) maps and digital data including zoning, existing land use, future land use, floodplain, census, structure counts, building envelopes and other planning-related geospatial data.

The Building division is dedicated to the protection of the health, safety and welfare of Midland residents and visitors through the enforcement of City ordinances and State law as it pertains to building codes and practices, property maintenance, signs, trash, litter and debris, zoning and other nuisance-related issues. Building inspection staff are State of Michigan-registered inspectors in their respective fields of expertise. Building inspection staff conducts architectural plan review and construction inspection services for all forms of construction, from single family residential to industrial manufacturing facilities and all uses in between. The City employs two rental housing and code enforcement inspectors to insure the safety and maintenance of the city's 6,250 registered rental units and encourage neighborhood stability through appropriate property maintenance code enforcement (e.g., trash, litter, debris, junk vehicles and front yard parking restrictions).

Members of the Planning and Building department staff are considered leaders in their respective fields. They serve as members of various local and statewide professional organizations assisting in the training and education of their professional colleagues.

## Functions

### **Administration**

- Prepares and administers department budget
- Acts as City's representative and expert in planning- and zoning-related issues
- Provides oversight to the City's senior housing (Riverside Place and Washington Woods) facilities
- Liaison to the U.S. Census Bureau
- Liaison to FEMA for floodplain issues
- Prepares agendas and provides technical staff support to the Planning Commission, Zoning Board of Appeals, Construction Board of Appeals, Center City Authority and West Main Street Historic District Commission
- Manage two city owned rental properties

### **Application and Review Process**

- Provides information regarding application procedures and requirements

- Reviews site plan applications for compliance with City ordinances and regulations
- Reviews subdivision plat and site condominium applications for compliance with City ordinances and regulations
- Reviews zoning petition applications (rezoning requests) for compliance with the future land use plan and provides recommendations
- Reviews zoning ordinance text amendment applications and provides recommendations
- Reviews street vacation requests for compliance with City ordinances and regulations
- Provides design assistance to developers and City staff
- Conducts site plan compliance inspections prior to issuance of certificates of occupancy

## Functions (cont.)

### Planning, Zoning & Land Use

- Provides information regarding the City's zoning ordinance and subdivision regulations
- Provides information regarding planning, land use and zoning issues
- Prepares and maintains existing land use maps
- Implements and prepares amendments to the City of Midland Master Plan
- Coordinates with GIS Department to create digital maps
- Prepares and maintains official zoning district map
- Coordinates and maintains local area plans (DDA, CCA, Eastman Ave.) and corridor studies
- Serves as liaison to groups such as the Project for Public Spaces (PPS), the Midland Board of Realtors and Midland Area Chamber of Commerce

### Building Inspection & Code Enforcement

- Conducts commercial, industrial and residential building plan review
- Conducts building, plumbing, mechanical and electrical inspections
- Conducts rental inspections; rental units are inspected every two years
- Serves as liaison to the Midland Area Home Builders Association
- Issues soil erosion and sedimentation control, sign, fence and other zoning compliance permits
- Maintains and updates all permit and inspection-related records
- Enforces ordinances that address trash, litter, debris, junk vehicles, home occupations, signs, nuisances and other property maintenances issues
- Provides information regarding codes and ordinance requirements to builders, designers and the public

## Department at a Glance

<b>Funding Level Summary</b>	<b>2008-09 Actual</b>	<b>2009-10 Actual</b>	<b>Adjusted 2010-11 Budget</b>	<b>Estimated 2010-11 Budget</b>	<b>Adopted 2011-12 Budget</b>	<b>% of Change</b>
Planning	\$ 510,129	\$ 542,578	\$ 497,004	\$ 542,682	\$ 555,861	2.4%
Building	649,684	658,047	694,813	686,474	686,725	0.0%
<b>Total Department</b>	<b>\$ 1,159,813</b>	<b>\$ 1,200,625</b>	<b>\$ 1,191,817</b>	<b>\$ 1,229,156</b>	<b>\$ 1,242,586</b>	<b>1.1%</b>
Personal Services	\$ 1,053,590	\$ 1,031,578	\$ 1,028,571	\$ 1,069,095	\$ 1,115,670	4.4%
Supplies	16,774	11,466	19,335	18,850	17,900	-5.0%
Other Services/Charges	89,449	139,902	143,911	141,211	109,016	-22.8%
Capital Outlay	-	17,679	-	-	-	0.0%
<b>Total Department</b>	<b>\$ 1,159,813</b>	<b>\$ 1,200,625</b>	<b>\$ 1,191,817</b>	<b>\$ 1,229,156</b>	<b>\$ 1,242,586</b>	<b>1.1%</b>

### Personnel Summary

Full-Time	13	10	10	10	10
Regular Part-Time	1	1	1	1	1
<b>Total Department</b>	<b>14</b>	<b>11</b>	<b>11</b>	<b>11</b>	<b>11</b>

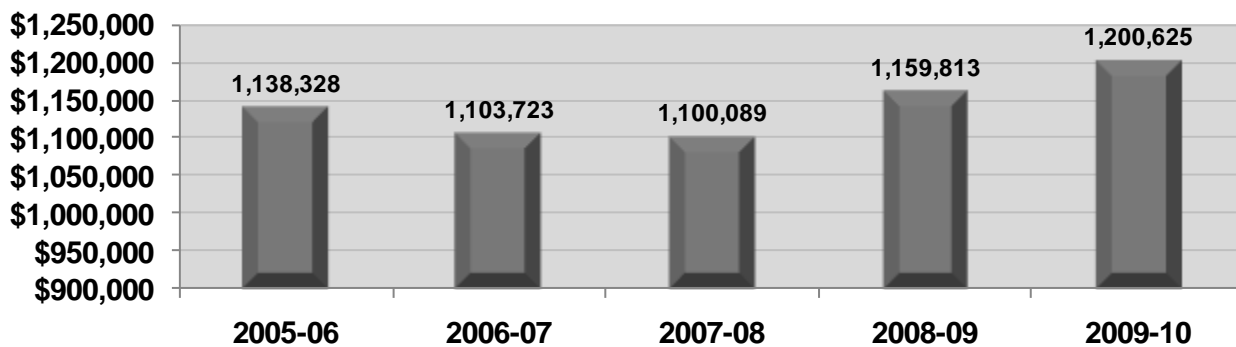
Planning & Building Department staffing has been reduced from 14 full-time positions in 2006-07 to 10 full-time positions budgeted for 2011-12. This has had a positive effect on the overall reduction of expenses in the Planning & Building Department to the City annually over the past six fiscal years.

## Summary of Budget Changes

### Significant Notes – 2011-12 Budget Compared to 2010-11 Budget

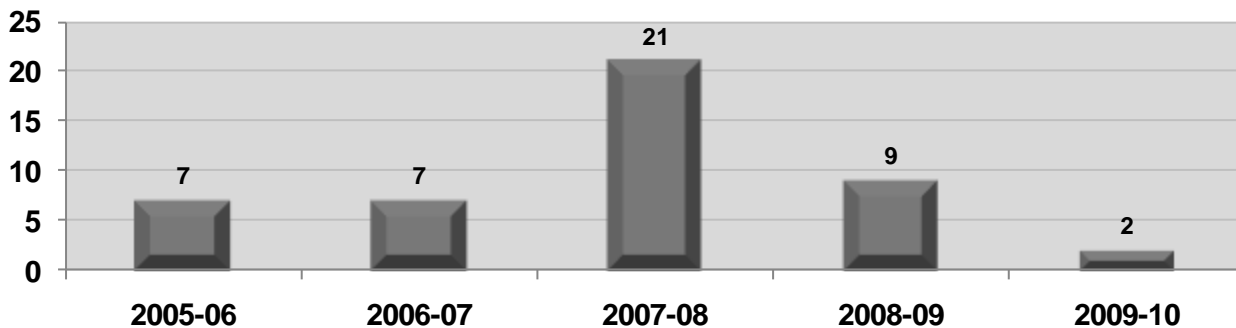
The Planning and Building Departments have realized additional budgetary savings with reductions in the number of employee cellular telephones, elimination of computers as staff has been reduced and for the 2011-12 fiscal year, the reduction of contracted planning services time in the Planning Department.

### 5-Year Operating Budget History



## Key Departmental Trends - Planning

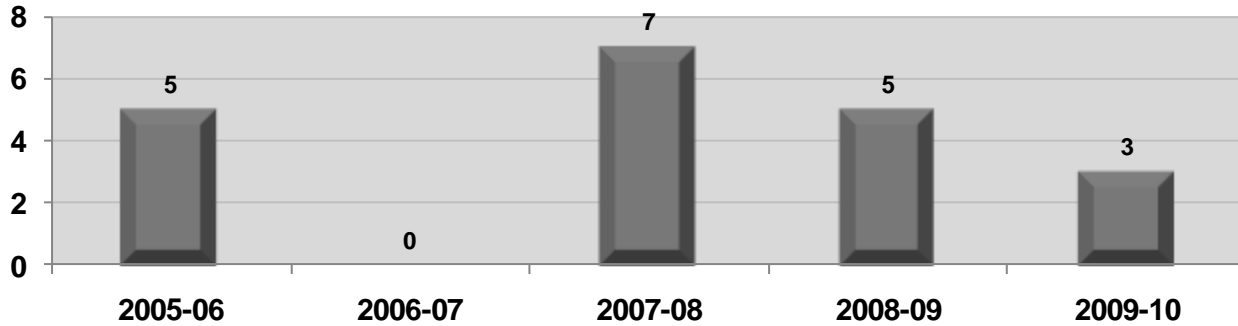
### Site Plan Review Petitions



The Planning Department handled significantly fewer site plan review petitions in 2009-10 than received in 2008-09 as the full effect of the lagging national and Michigan economies effected proposed new development within the community.

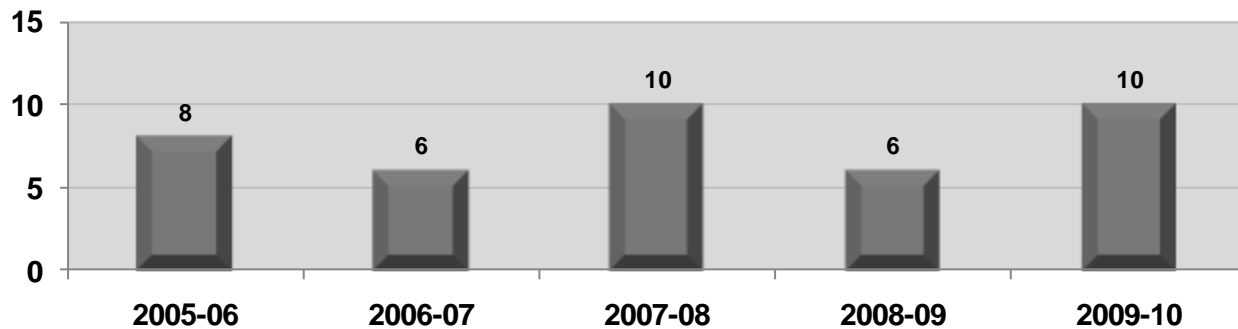
## Key Departmental Trends – Planning (cont.)

### Conditional Land Use Permits



The Planning Department handled two (2) fewer Conditional Land Use petitions in 2009-10 than in 2008-09 which continued the downward trend from the previous two fiscal years. This too can be attributed to the lack of development in the community as a result of the poor national and state economies.

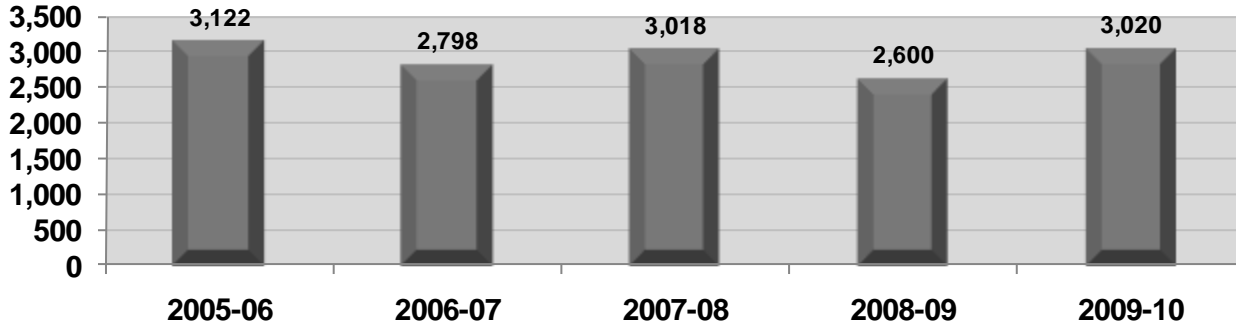
### Rezoning Petitions



Rezoning petitions (also an indicator for commercial development), however, were higher in 2009-10 than in the previous fiscal year.

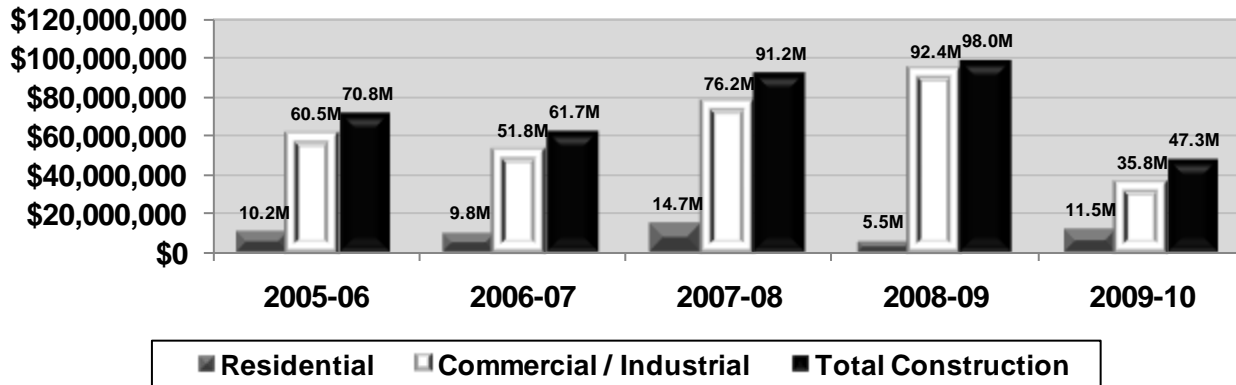
## Key Departmental Trends - Building

### Building Permits Issued Annually



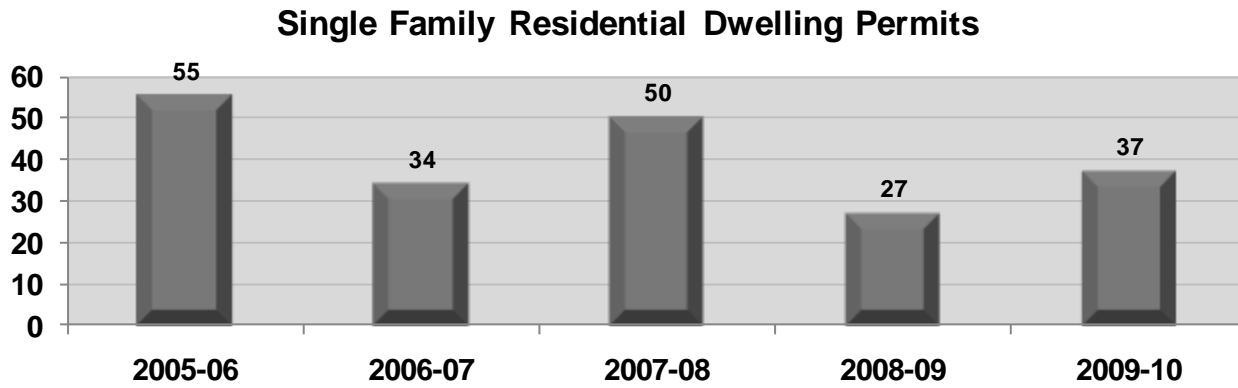
The 2009-10 fiscal year saw an increase of 16.2% (and the highest number is the past four years) in the number of permits issued by the Midland Building Department.

### Value of Annual Construction by Type



Ongoing, large scale projects continue to be reflected in the number of permits issued and inspections conducted by building department staff while the overall value of new commercial and industrial construction declined by 61.2% in 2009-10. These include the ongoing expansion of the MidMichigan Medical Center, Midland Country Club, Dow Business Processing Service Center, Dow Kokam lithium battery plant and Dow Powerhouse solar shingle project. As a result of recent investment by the community's major employers, an increase in housing demand has resulted in a 107.2% increase in the value of new residential construction including 37 new single family dwelling permits (a 37% increase from the prior year) as well as increases in the number of two-family residential (duplex) and condominium dwelling permits.

## Key Departmental Trends – Building (cont.)



## Performance Objectives - Planning

<b>Performance Indicators (OUTPUT)</b>	<b>2008-09 Actual</b>	<b>2009-10 Actual</b>	<b>% Change</b>
Site Plan Review Petitions	9	2	-77.8%
Conditional Use Requests	5	3	-40.0%
Subdivision Reviews	1	0	-100.0%
Rezoning Petitions	6	9	50.0%
Conditional Rezoning Petitions	0	1	N/A
Zoning Ordinance Text Amendment Petitions	1	2	100.0%
Planned Unit Development Petitions	0	0	N/A
Street Vacation Petitions	0	1	N/A

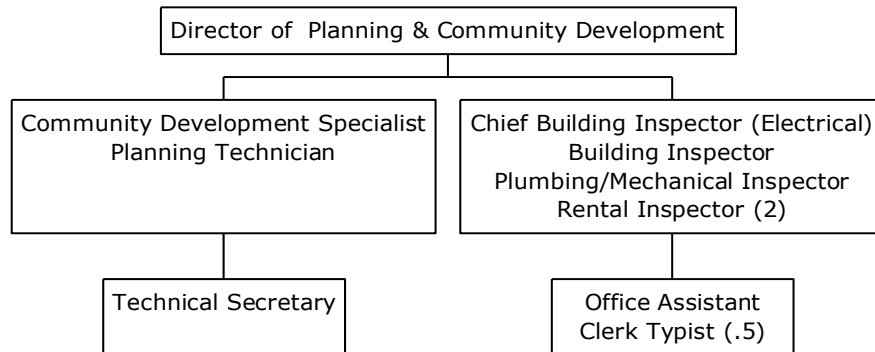
## Performance Objectives - Building

<b>Performance Indicators (OUTPUT)</b>	<b>2008-09 Actual</b>	<b>2009-10 Actual</b>	<b>% Change</b>
Number of Building Permits Issued	2,600	3,020	16.2%
Number of Sign Permits	90	119	32.2%
Value of Construction			
– Commercial/Industrial	\$92,444,789	\$35,831,911	-61.2%
Value of Construction			
– Residential	\$5,532,296	\$11,461,749	107.2%
Total Value of Construction	\$97,977,085	\$47,335,969	-51.7%
Number of Single Family Dwelling Permits	27	37	37.0%

<b>Performance Indicators (EFFICIENCY)</b>	<b>2008-09 Actual</b>	<b>2009-10 Actual</b>	<b>% Change</b>
Number of Total Inspections	4,989	11,285	126.2%
Number of Plumbing/Mechanical Inspections	1,476	2,459	66.6%
Number of Electrical Inspections	897	928	3.5%
Number of Building Inspections	2,616	3,823	46.1%
Number of Rental Inspections	3,336	3,697	10.8%
Number of Code Enforcement Inspections	395	378	-4.3%

The Planning & Building Department's measurable performance indicators represent mixed indicators in activity from the prior fiscal year. While the total value of construction and related planning commission petitions has decreased within the community, the number of permits, inspections and new home construction has increased over the past year. We believe this is reflective of the strengthening local economy and completion of large scale projects this year.

## Organizational Chart



<b>Staff Summary</b>	<b>Approved 2009-10</b>	<b>Approved 2010-11</b>	<b>Adopted 2011-12</b>
<u>Full-Time</u>			
Director of Planning & Community Dvlp	1	1	1
Community Development Specialist	1	1	1
Planning Technician	1	1	1
Technical Secretary	1	1	1
Chief Inspector / Electrical Inspector	1	1	1
Plumbing and Mechanical Inspector	1	1	1
Building Inspector	1	1	1
Rental & Code Enforcement Inspector	2	2	2
Office Assistant	1	1	1
<b>Total Full-Time</b>	<b>10</b>	<b>10</b>	<b>10</b>
<u>Regular Part-Time</u>			
Clerk-Typist	1	1	1
<b>Total Regular Part-Time</b>	<b>1</b>	<b>1</b>	<b>1</b>
<b>Department Total</b>	<b>11</b>	<b>11</b>	<b>11</b>

Planning Department staffing is currently being supplemented with a contracted planning consultant providing approximately ten (10) hours per week of professional services. The Deputy Director of Planning & Community Development position was permanently eliminated from the 2009-10 budget as was an Office Assistant position. One Building Inspector position was also permanently eliminated from the budget in the 2009-10 fiscal year.